

**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39<sup>th</sup> AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
January 14, 2019  
AGENDA**

1. Call to Order.
2. Roll Call.
3. Consider approval of the December 10, 2018 Plan Commission meeting minutes.
4. Correspondence.
5. Citizen Comments.
6. New Business:
  - A. **PUBLIC HEARING AND CONSIDERATION PLAN COMMISSION RESOLUTION #19-01 TO AMEND THE VILLAGE 2035 COMPREHENSIVE PLAN**, to consider adopting the Village of Pleasant Prairie Park and Open Space Plan 2018-2023, as a component of the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan and amending Section 395-6 B of the Village Municipal Code to reference this new plan as a component of the 2035 Comprehensive Plan.
  - B. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-02 FOR A COMPREHENSIVE PLAN AMENDMENT** to amend a portion of the **Lakewood Neighborhood Plan**, for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.
  - C. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.
  - D. Consider **PLAN COMMISSION RESOLUTION #19-03** to support the vacation of a portion of the Schmidt's First Addition to Pleasant Prairie Subdivision rights-of-way generally located north of 128<sup>th</sup> Street and east of Sheridan Road.
  - E. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-04 FOR COMPREHENSIVE PLAN AMENDMENTS** for the request of Stephanie Judge, agent on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road. The Nature Conservancy has acquired the 150 acres for the restoration of the site to a mix of dry prairies, wetland swales and oak savannas; therefore, the Village 2035 Land Use Plan Map 9.9 is proposed to be amended to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area to the Park, Recreational and Other Open Space lands designation. The Isolated Natural Resource Area and the field verified wetland land use designations will remain unchanged. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

- F. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AMENDMENTS** for the request of Stephanie Judge, agent, on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road to be rezoned from the A-2, General Agricultural District and C-2, Upland Resource Conservancy District to the C-3, Natural and Scientific Area Resource Conservancy District. The lands currently zoned C-1, Lowland Resource Conservancy District would remain unchanged.

7. Adjourn.

It is possible that a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above. **The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39<sup>th</sup> Avenue, Pleasant Prairie, WI (262) 694-1400.**



**PLEASANT PRAIRIE PLAN COMMISSION MEETING  
VILLAGE HALL AUDITORIUM  
9915 39TH AVENUE  
PLEASANT PRAIRIE, WISCONSIN  
6:00 P.M.  
December 10, 2018**

A meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on December 10, 2018. Those in attendance were Wayne Koessl; Jim Bandura; Bill Stoebig; and Brock Williamson (Alternate #2). Michael Serpe, Mike Pollocoff, Deb Skarda, Judy Juliana and John Skalbeck (Alternative #1) were excused. Also in attendance were Nathan Thiel, Village Administrator; Tom Shircel, Assistant Village Administrator; Jean Werbie-Harris, Community Development Director; Peggy Herrick, Assistant Village Planner and Zoning Administrator; and Aaron Kramer, Deputy Planner and Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER APPROVAL OF THE NOVEMBER 12, 2018 PLAN COMMISSION MEETING MINUTES.**

Bill Stoebig:

So moved.

Wayne Koessl:

Second.

Jim Bandura:

**MOTION BY BILL STOEBIG AND A SECOND BY WAYNE KOESSL. ALL IN FAVOR SAY AYE.**

Voices:

Aye.

- 4. CORRESPONDENCE.**
- 5. CITIZEN COMMENTS.**

Jim Bandura:

If you're here for an item not on the agenda now is the time to speak up and take the microphone, give us your name and address and we will hear your comments. Anybody wishing to speak?  
Anybody wishing to speak?

**6. NEW BUSINESS.**

Jim Bandura:

Jean, Item A and B can we take those together?

Jean Werbie-Harris:

Yes. You'll need to read both of them into the record.

Jim Bandura:

And we'll have separate motions on it, though, right?

Jean Werbie-Harris:

Correct.

Jim Bandura:

Gentlemen, what's your pleasure for Items A and B combined, separate motions?

Wayne Koessler:

Move we take them.

Bill Stoebig:

Second.

Jim Bandura:

**WE HAVE A MOTION BY WAYNE KOESSL AND A SECOND BY BILL STOEBIG, SO MOVED. ANYBODY SAY AYE?**

Voices:

Aye.

Jim Bandura:

So moved.

**A. PUBLIC HEARING AND CONSIDERATION OF A ZONING MAP AND ZONING TEXT AMENDMENT for the request of John Huggett with The Boldt Company on behalf of Aurora Health Care, Inc., owner of the property located at 12500 Aurora Drive related to related to the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building to rezone the property into a**

**PUD, Planned Unit Development Overlay District with the underlying M-5, Production Manufacturing District and C-1, Lowland Resource Conservancy District areas to remain unchanged. In addition, to create the specific PUD district requirements for the development related to signage and landscaping of the open space.**

- B. Consider the request of John Huggett of the Boldt Company for approval of the Final Site and Operational Plans (Stage 4) for the interior building plans, landscaping plans, exterior lighting plans, signage plans and the Digital Security Imaging System (DSIS) Agreement and DSIS Access Easement related to the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building to be located at 12500 Aurora Drive [northwest corner of 104th Street (CTH Q) and 120th Avenue (West Frontage Road)] within the Prairie Highlands Corporate Park.**

Jean Werbie-Harris:

So Mr. Bandura and members of the Plan Commission, Item A is a public hearing and consideration of a Zoning Map and Zoning Text Amendment, and this is at the request of John Huggett with The Boldt Company on behalf of Aurora Health Care, Inc., owner of the property located at 12500 Aurora Drive related to related to the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building. And this is to rezone the property into a PUD, Planned Unit Development Overlay District, with the underlying M-5, Production Manufacturing District, and C-1, Lowland Resource Conservancy District areas to remain unchanged. In addition, to create the specific PUD district requirements for the development related to signage and landscaping of the open space.

And then Item B, consider the request of John Huggett of the Boldt Company for the approval of the Final Site and Operational Plans or Stage 4 for the interior building plans, landscaping plans, exterior lighting plans, signage plans and the Digital Security Imaging System or DSIS Agreement and DSIS Access Easement, and this is related to the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and the Medical Office Building to be located at 12500 Aurora Drive. This property is located at the northwest corner of 104th Street and 120th Avenue within the Prairie Highlands Corporate Park.

Jim Bandura:

The item is a matter for public hearing. Anybody wishing to speak on Item A?

Jean Werbie-Harris:

Actually I would like to make the presentation first.

Jim Bandura:

Okay, let's do that.

Jean Werbie-Harris:

All right, thank you. The petitioner has purchased approximately 64 acres of land located at 12500 Aurora Drive within the Prairie Highlands Corporate Park. And this is for the development of construction of the Aurora Health Center-Pleasant Prairie Ambulatory Care Center and Medical Office Building.

The proposed \$130 million development would include an approximate 100,000 square foot ambulatory care center, a three story 100,000 square foot professional office building and associated surface parking and open space. The building is situated on the site to accommodate future expansion as the health care needs of the community evolve. The planning and design of the proposed facility would preserve the site's woodlands and natural wetlands, providing care in a natural and healing environment.

The proposed health care facility would offer new and expanded services in an ambulatory care center and a professional office building. The facility is intended to meet the growing health care needs of residents in the Village and surrounding communities ensuring access to high-quality, cost effective care in a convenient location. Within the facility will be operating rooms, imaging rooms, rehabilitation equipment, prep/recovery rooms, clinic exams, food service, a laboratory, pharmacy, and sterilization equipment. The equipment used will support the previously identified departments and rooms. A generic listing of the equipment that will be within this facility will include but are not limited to CT, MRI, X-ray, bone densitometer, mammography, ultrasound, operating rooms, steam sterilizers, disinfectant, crash cart, centrifuge, stretchers, exam tables, kitchen hoods, grills, freezers and refrigerators. A screened mechanical service area will be located on the building.

It is estimated that this facility will provide for 260 full-time and 28 part-time employees working two shifts. This will include 140 new jobs. A total of 737 parking spaces including 24 handicapped accessible parking spaces are being provided with a separate entry. And there will be two dock service court areas are shown on the west side of the building. It is anticipated that the average daily automobile trips would be 2,565 per day with an average of four daily truck trips per day. Access to the development will be from an internal roadway that connects a boulevard entrance to 120th Avenue which is the West Frontage Road and extends to a boulevard entrance at 128th Avenue. There will be no direct driveway access to 104th Street which is Highway Q. A total of three access points are proposed from and to 128th Avenue.

Outlot 1 of CSM 2866 north of the property will provide for regional basins for the Prairie Highlands Corporate Park and will also handle stormwater for Aurora and the southern end of the Corporate Park. The grading of the Aurora lot and the stormwater facilities within the outlot will be completed by Aurora pursuant to the Development Agreement which specifies the obligations and other requirements of the Village and Aurora including the required public and private improvements for the Aurora development.

All public roadway improvements and public utilities serving the Aurora site have been designed and are under construction. The public improvements are intended to be installed by the Village and are anticipated to be completed by the late fall of 2019. The Village is coordinating the electrical services needed for Prairie Highlands Corporate Park street lighting, and Aurora is coordinating their onsite gas and electric service needs directly with We Energies.

As indicated, this is actually our Stage 4 for this project, and so there have been several previous approvals that have been considered by the Village Plan Commission and the Board.

- On April 2, 2018, the Board conditionally approved a Master Conceptual Plan for the Care Center and the Medical Office Building on the property.
- On June 11, 2018, the Plan Commission conditionally approved the Preliminary Site and Operational Plans, Stage 1, for the mass grading of the site, and the mass grading began after the Wisconsin NOI, the Wisconsin DNR Chapter 30 permit and the Wisconsin DOT permit were obtained and submitted as discussed in their precon meeting on June 27, 2018, and the Erosion Control Permit was issued by the Village on July 5, 2018.
- On June 18, 2018, the Board approved the Development Agreement and related exhibits that were executed by all parties on June 21, 2018.
- Also on June 18 the Board approved amendments to the Village Comprehensive Plan, Ordinance 18-25 and the Zoning Map, Ordinance 18-26, and this was to reflect the wetlands as delineated by RA Smith for the Corporate Park including the land being developed by Aurora. The wetlands on the Aurora site are being preserved and protected during site development and following the development.
- July 9, 2018, the Plan Commission conditionally approved Preliminary Site and Operational Plan, Stage 2, for the approval of final full civil plans, underground utilities and footing and foundation plans. Early footing and foundation permit was issued by the Village on August 14, 2018.
- October 22, 2018, the Plan Commission conditionally approved, again, a set of Preliminary Site and Operational Plans, Stage 3, for the building shell. Subsequently permits were issued for the building shell.

So now we're at the final stage or Stage 4. This is final plan set of plans for the development and the final of the associated site and the building improvements for the project including the interior buildout plans, the final landscape plans, lighting plans, signage and the DSIS Agreement and Access Easement. In addition, the Zoning Map and Zoning Text Amendment is being considered as part of the (PUD) Overlay, and that's specifically related to signage and landscaping on the site.

The DSIS Agreement and the Access Easement, the entire exterior of the building and site are covered by a DSIS which has a live view exterior camera view connection to the Village Police Department. The system shall be designed for external coverage for entire site including all building and parking lot entrances and exits, driveways and access locations on the site and the parking lots and access to the common open space areas, and this is pursuant to Chapter 410 of the Municipal Code. It's in accordance with the attached DSIS Agreement and the Access Easement being provided to the Village by the owner. This system shall be Village inspected, approved and operational and must be prior their occupancy.

Zoning Map and Text Amendments, a PUD, Planned Unit Development Overlay, is proposed to be placed on the property with the underlying M-5, Production Manufacturing District, and C-1,

Lowland Resource Conservancy District, areas remaining unchanged. In addition, a Zoning Text Amendment is proposed to create the specific PUD district requirements.

The attached PUD, and as you can see on the slide, includes some variations to the Zoning Ordinance:

- To allow for 25 percent of the open space area excluding the wetlands and woodland areas to be allowed to be planted and maintained as prairie grasses and plants rather than manicured lawn.
- To allow for three primary monument signs and two Secondary Monument Signs within the development.
- To allow for an increase from 600 to 800 square feet of total aggregate commercial advertising signs or wall signs for the 200,000 square foot building.

Building shell construction if you've gone by has commenced recently this this past November with the approval of Stage 3, and the entire project is anticipated to be completed in the summer of 2020. So with that I'd like to continue the public hearings. If anyone has any questions related to the project we do have representatives here from Aurora and representing their consultant as well.

Jim Bandura:

Would anybody wish to speak especially from Aurora? Do a little bit of presentation, give us a little more insight? Thank you.

Brian Esswein:

So I'm Brian Esswein. I'm the construction manager for Advocate Aurora Healthcare. Thank you for your consideration tonight of the PUD. Two items that are on the table tonight for the increase in signage, the monument signage and then the landscape. So this site for us is very, very attractive because it's a welcoming natural site set deep in the lot to allow that experience from our customer base as they come to the sight. Some of the additional requests that we have from the signage and on the increased sign is to allow that visibility to our site which also helps our way finding efforts. Because we find in hospitals as everybody knows it's a little crazy at times. This is to help that visibility to our site, welcome our customers in.

At the same time the landscape plan as it was laid out with the additional prairie grass allows from some extra pathways through the site for some summer activity for our not just customer base but also our employee base. This is something that from the Advocate Aurora side the model's changed. It's more towards the perspective of healing. It's a different elevation. It's more of a welcoming environment. What you see in front tonight for, again, for your consideration are a couple variations to the ordinance to allow some additional interaction with our site for the healthy perspective that we're advocating for the community as well as some general more enhanced visibility in our signage.

Jim Bandura:

Just a quick question, the ground signs, directional signs are they going to be internally illuminated?

Brian Esswein:

So the monument signs are lit which are what you see, the large signs from the corners, all the blue. The drive signs are not, internal to the Aurora drive are not.

Jean Werbie-Harris:

But there's lighting --

Brian Esswein:

Excuse me, there is lighting, there is, again, parking lot lighting to illuminate the whole parking lot and the drive as well, that internal drive.

Jim Bandura:

So the directional signs will be visible at night.

Brian Esswein:

Absolutely. They are not internally lit, they are external from the different light poles on site.

Jim Bandura:

Okay, good. Anybody else wishing to speak on the matter? Anybody else? This is a public hearing. Closing the public hearing. I'll leave it up to the Commissioners for questions and answers.

Wayne Koessl:

With that, Mr. Chairman, I would move that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Map and Text Amendments subject to the comments and conditions of the Village staff report of December 10, 2018.

Brock Williamson:

I second.

Jim Bandura:

**WE HAVE A MOTION BY WAYNE KOESSL AND A SECOND BY BROCK WILLIAMSON. ANYBODY READY TO SAY AYE?**

Voices:

Aye.

Jim Bandura:

Motion goes. Welcome. Next, Item B, final site and operational plans.

Jean Werbie-Harris:

I actually made one presentation and so the Plan Commission can take action.

Wayne Koessl:

I move approval.

Brock Williamson:

Second.

Jim Bandura:

**MOTION BY WAYNE KOESSL AND A SECOND BY BROCK WILLIAMSON.  
EVERYBODY READY TO SAY AYE?**

Voices:

Aye.

Jim Bandura:

So moved. We're all set on Aurora.

**C. PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #18-26 FOR COMPREHENSIVE PLAN AMENDMENTS for the requests of Brian Johnson, Steven Brown, and James and Michelle Parks, Owners of Lots 15, 16 and 17 of the Countryside Estates Subdivision, respectively, to amend the 2035 Comprehensive Land Use Plan Map 9.9 to place the field delineated wetlands on Lots 16 and 17 into the Park, Recreational and Other Open Space Lands with Interpolated Wetlands land use designations and to place the non-wetland areas on Lots 15, 16 and 17 within the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.**

Jean Werbie-Harris:

I would ask that Items C and D be presented at the same time, one presentation and separate actions on the two items.



Jim Bandura:

Gentlemen, what's your pleasure?

Brock Williamson:

Move to approve.

Wayne Koessl:

Second.

Jim Bandura:

**MOTION BY BROCK WILLIAMSON AND A SECOND BY WAYNE KOESSL. SO MOVED. ALL IN FAVOR?**

Voices:

Aye.

**D. PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AMENDMENTS for the requests of Brian Johnson, Steven Brown, and James and Michelle Parks, Owners of Lots 15, 16 and 17 of the Countryside Estates Subdivision, respectively, as a result of wetland delineations being completed on the properties. Specifically, to rezone the field delineated wetlands on Lots 16 and 17 into the C-1, Lowland Resource Conservancy District and to rezone the non-wetland areas on Lots 15, 16 and 17 into the R-4, Urban Single Family Residential District.**

Jean Werbie-Harris:

Commissioner Bandura and the other members of the Commission, Items C and D are related. And I'll be making one presentation, and we'll need separate actions on both items. Item C is the consideration of Plan Commission Resolution 18-26 for Comprehensive Plan Amendments for the request of Brian Johnson, Steven Brown, and James and Michelle Parks, owners of Lots 15, 16 and 17 of the Countryside Estates Subdivision, respectively, to amend the 2035 Comprehensive Land Use Plan Map 9.9 to place the field delineated wetlands on Lots 16 and 17 into the Park, Recreational and Other Open Space Lands with Interpolated Wetlands land use designations and to place the non-wetland areas on Lots 15, 16 and 17 within the Low-Medium Density Residential land use designation and to update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan.

And then Item D is consideration of the Zoning Map Amendments also at the request of Brian Johnson, Steven Brown, and James and Michelle Parks, Owners of Lots 15, 16 and 17 of the Countryside Estates Subdivision, respectively, as a result of the wetland delineations being completed on the properties, specifically, to rezone the field delineated wetlands on Lots 16 and 17 into the C-1, Lowland Resource Conservancy District, and to rezone the non-wetland areas on

Lots 15, 16 and 17 into the R-4, Urban Single Family Residential District. As I indicated these items will be discussed at the same time but separate actions are required.

The petitioners are requesting approval of the amendments to the Village's Comprehensive Plan and Zoning Map to reflect the field delineated wetlands on their properties known as Lots 15, 16 and 17 of the Countryside Estates Subdivision. This subdivision is located just generally east of 32nd Avenue at 106th Place. And this is just west of the Kenosha County Bike Trail.

- Lot 15: On August 2, 2018 the Wisconsin DNR conducted a wetland delineation and found no wetlands as indicated in the Wisconsin DNR September 17, 2018 letter.
- Lot 16: On April 21, 2018 DK Environmental Services, Inc. completed a wetland delineation on the property that was approved by the Wisconsin DNR as indicated in the Wisconsin DNR letter dated July 6, 2018. The location of the wetlands as shown on the attached surveys are located in the rear of the property.
- Lot 17: On August 30 and September 7, 2018, Alice Thompson of Thompson and Associates Wetland Services, a Wisconsin DNR Assured Biologist completed a wetland delineation. The location of the wetlands as shown on the attached survey are located in the rear of the property.

As a result of these delineations, the Village 2035 Land Use Plan Map 9.9 is being amended to place the field delineated wetlands on Lots 16 and 17 into the Park, Recreational and Other Open Space Lands with Interpolated Wetland land use designations and to place the non-wetland areas on Lots 15, 16 and 17 within the Low-Medium Density Residential land use designation. In addition, Appendix 10-3 of the 2035 Comprehensive Plan is being updated to include these amendments.

The Land Use Map and the Zoning Map are required to be consistent, therefore, the field delineated wetland areas on Lots 16 and 17 are proposed to be rezoned into the C-1, Lowland Resource Conservancy District, and non-wetland areas on the Lots 15, 16 and 17 would be rezoned into the R-4, Urban Single Family Residential District. With that I'd like to continue the public hearing regarding these petitions.

Jim Bandura:

This is a matter for public hearing, anybody wishing to speak? Anybody wishing to speak? Please come, take the microphone and give us your name and address.

Renee Proctor:

Can I just bring forward a couple --

Jim Bandura:

Sure.

Renee Proctor:

I guess I have to give my name or something, right?

Jim Bandura:

Yes, name and address please?

Renee Proctor:

My name is Renee Proctor. I live at 10691 32nd Avenue, Pleasant Prairie, Wisconsin. I reside in Countryside Estates. This is very uncomfortable to me to be here tonight. I believe the Village has put me in a difficult position with my neighbors and friends. I'm concerned that tonight's hearing, the time that's allotted, may not be enough time to address the issues. Perhaps another meeting must be set for the community at large to participate in the ongoing water concerns of Pleasant Prairie, the impact that the rezoning and possible future building on these lots will have. Because unfortunately the rezoning of these three lots is not happening in a vacuum.

I want to apologize up front to the current owners of Lots 15 and 17 of which we have now known for 16 years. I want to apologize to the builder who is listed on the public record as the owner of Lot 16 by means of a trustee's deed. So I am sure you are well aware of this whole development process more so than someone like me who has nothing to do with the real estate world. We have never met this gentleman, but to quote the Village of Pleasant Prairie he's a great guy.

Most sincerely I want to apologize to the potential new homeowner who has submitted plans to build a home on Lot 17 with a lot of significant water drainage, a lot with up until this point tonight has a sizeable portion dedicated as wetlands currently utilized by nature and the surrounding area for natural occurring stormwater drainage. This is also said to be true regarding Lot 16 to an even greater degree. And I also should include our lot, Lot 19, and backyard as it is within the wetland, and it serves as drainage for the surrounding area, a fact that I am not disputing.

Unfortunately for Lot 15 you've attached yourself to tonight's meeting due to a small portion or wetland currently on your property until the discussion and matter of tonight's hearing determines otherwise. I apologize because all of this was foreseeable. For the past ten years I have voiced to multiple Village personnel that there is an ongoing water drainage concern, one that I believe is growing in problem, not diminishing. Ten years. The fact that there are water concerns in the area, and that wetlands are currently a part of these lots is nothing new to any of the current lot owner. Nor is it news to the Village of Pleasant Prairie. Nor is it news to the DNR who I have also been in contact during this ten year period.

Ten years is a long time to try to fit in running your own life, careers, activities and events, let alone trying to ask the Village to do the right thing. I am not the Village keeper nor do I wish for the title. It is not my career or life's ambition to follow what they do. I believe it is their jobs as Village employees, and I trust that they do their jobs and will do the right thing. I want everyone to know that I have patiently, patiently tried to have the water concerns and drainage issues in our area addressed, and to date there has not been a working solution, nor has anyone from the

numerous departments gotten back to me. Ten years of trying to live life and then ask the Village to do the right thing.

Along the way I have learned a few things. I learned that a subdivision in Pleasant Prairie is built almost exclusively under the direction of the Village, and it would be difficult to move forward without the approval of Village staff or its engineers. When Countryside Estates was development, in the final subdivision approval memo, it was the Assistant Planner for the Village of Pleasant Prairie who wrote, and I summarize, stormwater detention or retention shall be located at the lowest area of the property and in those areas which now receive the natural drainage. Continuing on, one outlot will be needed for stormwater purposes south of these existing wetlands.

Again, I summarize, but the Village had knowledge that the wetlands and the addition to these detention pond are important for drainage of the area. And I will argue that the need for those wetlands in addition to the value it adds to these properties has increased from a drainage standpoint, not decreased. It is also the Village that told me when we moved in and I voiced a concern over water in the streets that the neighborhood was not yet completed, and that this will take care of itself. In hindsight those water concerns are quite minor compared to what we are looking at today. At the same time I addressed the wetlands, and I asked what was allowable to do as a homeowner. And I was told to keep the areas cut back to let the wetland vegetable grow up into our yard that portions of our yard could then be claimed as wetland.

To approve the rezoning of lots 15, 16 and 17 tonight means that these lots essentially can now be built upon. It also means in order to build on that a significant portion of the wetlands current located on these lots which I mentioned earlier served as necessary drainage for the area has to be deemed non-wetlands so that a home can be placed within the setback limitations allowable by the Village of Pleasant Prairie on these lots. So basically lots 16 and 17 were unbuildable up until the outcome of tonight's hearing assuming that the wetland boundaries can be moved. On the surface this poses a couple quick concerns both which will most likely have an adverse effect on our home, a home within the wetland, a home adjacent to the wetland, a home adjacent to potential building of a new home, the potential adverse effect to our property, the value of our home, and if our property is affected any costs involved to take care of damages to our home.

I really feel I need to include those around us as well as they, too, may be adversely affected. I have to say rezoning lots 15, 16 and 17 and rezoning it if you will of the wetlands doesn't stop with these few properties. The problem is even greater as I shared with the Village of Pleasant Prairie for the past ten years. The drainage concerns involves the stormwater runoff from the subdivision to the north of us which includes water that is coming in from outside of their subdivision, and then stormwater coming from the subdivision to the south of us. How does that affect us? Well, when there is a significant rain the extra flowage from both directions, the north subdivision and the south subdivision come to rest behind our home in the wetlands, in our backyard. We are at capacity. We can no longer pump away any more water without it affecting our home.

It is my belief that the wetlands to the north of us must be at capacity as often it looks like ours are, too. The ground can only hold so much water. I hate to tell you this. And I'm willing to be that some soils don't actually hold water as well as others do which is another issue for this area, the soil or soils in the area, and what can we really expect that nature and its ability to take care of

all this drainage. The water backup and the draining does not only occur at certain times of the year but rather year round which should also be noted, winter, spring, summer or fall.

We cannot govern Mother Nature or the ground beneath our feet to the extent that it will continue to take everything you are asking for it to do. Again, I say none of this is happening in a vacuum. It is all interconnected and it needs to be addressed together. By removing a significant portion of the natural drainage wetlands on lots 15, 16 and 17 the water has to go somewhere. Compound that with building a home or two, and in this case quite possibly three new homes, where does that water go after the home construction displacement takes place? Tell me what I'm not understanding. We remove a chunk of drainage land basically in our back yard, we build new homes next to us displacing even more water, development continues throughout the surrounding area, where is all the water going? I can tell you where.

Two years ago in the words of the Village Engineer himself we stood together, the same engineer that through emails this past week I have learned worked closely with the new builder for the home to be placed on lot 17 putting together the final specifications in regards to the grading, the placement, and the drainage. He told me as we stood in our backyard on the berm between lots 19 and 20 at the edge of the wetlands and at the edge of the detention basin that any development or any fill on those lots would then make our basement the lowest point in the neighborhood basically rendering our basement as the neighborhood retention pond. He even said he looked at the elevation map.

He was there once again at the request of our neighborhood to address water drainage concerns. His findings were that grass clippings and yard waste were clogging up the drainage path. Although none of this debris was our neighbors, he had the grass clippings and brush removed. Nothing has changed with the water drainage concerns. So you can see why I'm here voicing my opinion and objections to the rezoning of these lots plus the removal of the much needed wetlands for the potential construction of new homes. Ten years is a long time.

I also learned that I am not the only one that raised the concern over water drainage in the area. But before the subdivision was finalized Kenosha County in writing raised the same concerns with the development of this subdivision with the Village of Pleasant Prairie. Kenosha County wanted written assurances that the drainage plans were sufficient. It was all done in writing, you know, because someone wanted to keep themselves covered.

As I emailed the Assistant Village Planner who has also the title of Assistant Zoning Administrator of Pleasant Prairie back in October of this year, copying in the realtor of the new potential homeowner that water concerns and issues should all be addressed before an innocent family begins their process to build a new home. I even went so far to apologize for the harshness of my tone as I felt it was unethical and deceitful to continue without addressing all these concerns. You must have a plan is all I can say. And in that plan it must say what the plan is. And in that plan it must say who will maintain it. And in that plan it must say who will be responsible both short term and long term for the maintenance of such a plan. And in that plan it must say who is responsible for any and all costs involved in the engineering, implementation and maintenance and ongoing costs involved to carry out that plan. There must be a plan is all I can say.

After ten years if all these plans rely on the Village of Pleasant Prairie, its staff and engineers I have serious concerns. And then, by that way, I'd like that plan to include an ironclad written and legally binding document that assures not only my home but those homes that may be affected that our properties will not be affected whether it be by water damage, construction damage or ongoing maintenance costs or costs related to the lack of maintenance. For if I were a lawyer I would put all of those things in a document.

Because we purchased our home with the covenants saying something to the effect of lots 15, 16, 17 and 18 plus the outlot shall be subject to a deed restricted wetland. This restriction goes on to prohibit any buildings being placed in the marked areas. It also prohibits any filling, flooding, dumping, ditching, tilling or excavation. In addition, under the terms and effects section, it states something to the effect that these restrictions run concurrent with the land and even placing a 40 year term as part of the covenant. The covenants may also be in question here, but the Village already knows that.

I again say to move forward on any wetland conversation this evening or the redelineation of the wetlands on lots 15, 16 and 17 of which I include the wetlands in our back yard, to continue forward and render a delineation tonight is unethical and dishonest. I ask you what has changed, and I would like to argue with the DNR what has changed. If this was a vacuum and we were really here tonight to discuss the moving of the wetland boundaries, we would be discussing the wetland indicators, soil samples, the amount of samples, the depth of samples, the vegetation or now lack of vegetation now that it has been removed from lot 16 three months prior to the announcement of this evening hearing, and nearly four months before the actual hearing took place.

Conveniently, 25 feet of wetland vegetation was removed to expand the lot. I remind everyone it does not remove the natural occurring stormwater from locating in this area. The water in the wetland which, by the way, a wetland does not need to be wet to be determined or deemed a wetland, we would be discussing those indicators that make up the definition of a wetland such as what has been going on over time with the land. I went back to 1963 using the Kenosha county aerial photos. It can easily be argued we are looking at Mother Nature in action here on these lots. I even found records back to the 1800s if we want to play a game.

Again, I ask what has changed. A couple years ago when the owners of lot 16 came to me offering to sell me the lot for \$50,000 and to it I would get the outlot which I was told originally was ours, I went back and forth with the Village for two days running and out of the office with multiple questions measuring the lots lines and setback as best I could searching for codes and information because they did not offer it up front. When at the end of two days of running in and out of their office was determined that the lot was unbuildable due to the wetlands I asked why didn't you just tell me at the start of all this. Their answer was plain and simple, let the buyer beware. In fact, they even told me that the footage on the street in front of this lot, lot 16, is not even keeping with the Village ordinances.

Fast forward to this past spring when the current owner on record of lot 16 put up a sign as a builder, and I stopped in the Village to say you could not in good conscience let someone thing they're about to build a beautiful home on an unbuildable lot. Not after what you told me just a couple years ago that it was unbuildable. You know what they asked me? They asked me who

was the builder? I showed a photo from my phone that I had taken of the builder's sign. Their response was, quote, oh, we like that builder. He's a great guy, end quote.

I would have liked to have been here tonight to just argue on behalf of the countless songbirds that have started showing up each spring and summer now that the wetland vegetation has grown in. Or the pair of hawks that for several years have returned to the wetland area to nest. Or any number of the plant and animal species that have continued to thrive in this wetland while it's being used as a natural occurring stormwater drainage for our area. I would have liked to have been there on behalf of all that. But that's not what honestly brought us all here tonight. I reiterate the wetlands are currently serving as a significant portion of stormwater control in the area. As building and development continues throughout the area, we have steadily in the 16 years that we have owned our home seen the water situation grow a little bit worse each year. We are at maximum capacity of holding back this water.

You are adversely affecting our home potentially. The owner of lot 15 is a voting board member of our HOA. He is also an individual doing the back and forth communication with the Village of all of this. I kind of believe there's a conflict of interest as he is the owner of one of the lots under consideration tonight. He has a financial gain to be made. I believe I already voiced my opinion regarding lot 16 being that the Village really likes him. He's a great guy, and the wetlands were already allowed to be cut back 25 feet on that lot or more before this meeting was even announced and just after new rules and regulations for the State of Wisconsin went into effect on July 1st of this year.

As for lot 17, the beginning of October, a full month before any hearing notice was ever sent, a realtor contacts our HOA through the owner of lot 15, a voting board member, with plans for approval. This board member presses that our HOA approved this home against the objection of my husband who is also one of the board members. My husband raised the question of water concerns and potentially what implications this might not only have for our home but for any potential new homeowner or for the entire association as well. He was not allowed to enter those objections into the approval of the initial plan. Three of the four board members approved the overall look and design of that home plan.

The plans then moved forward with the Village Engineer to set the grading, the drainage, the placement on the lot in a very specific cycle along with final approval. Those plans were asked to be approved last week, again, before this hearing ever took place. At my husband's urging the HOA agreed to wait until tomorrow evening to make that vote. Again, these plans were submitted before this meeting ever took place. Actions were taken by the Village of Pleasant Prairie before this meeting ever took place.

I ask again why are we really here tonight? The key is these things are not occurring in a vacuum. Ten years has given me a lot of time to see that people are people and we all make mistakes. Hopefully we're trying to do the best that we can to do the right thing not only for ourselves but for everyone involved and for potential new homeowners so that they, too, can call Pleasant Prairie their home. Who stands to gain financially from the move to reclassify and push back the current wetland boundary? I'm not a biologist, I'm not a hydrologist, I'm not a scientist or an expert by any means, and I can currently only speak to the obvious. We have water drainage problems. And to remove a portion of the current drainage plan will only knowingly compound these issues and put our home and those around is in an adverse position. Thank you.

I have pictures that show water that comes right up into that lot 17. I have pictures of our back yard which is also the wetland. Picture of our detention pond. Pictures of how the water doesn't go anywhere from behind the house. What it looks like at the subdivision south of us. What it looks like when our detention pond is filled and our back yard is also filled. What the back yard looks like from the view of the Kenosha County Bike Trail which is overflowing with water sometimes when we have rain. I've also printed off every five years of the area, an overview aerial map of the area in question here. It is clear that there is water and growth that happens naturally in all of these lots. It hasn't changed. I went all the way back to 1963.

I happen to have a copy of what may be the final approval plat for our neighborhood. And in here it actually has some of those things. It shows the lots, it shows the deed restrictions, it shows the four year terms [inaudible]. I don't know what more else I can do. I tried. I tried to do it quietly, I tried to do it without making enemies of my neighbors. I tried to do it so it's not a public forum. You're putting us under water, that's the bottom line. And you're also potentially which makes me even more angry putting at risk new homeowners who are going to build a home of their dreams and potentially put them under water without even knowing it. That's my case. There's a case to be made.

Jim Bandura:

Ma'am, I can understand that. I, too, have water issues in my subdivision. And my lot went from a drainage easement to wetlands to now a floodplain. And I really can't tell you how much the DNR sometimes creates problems. So I can sympathize with you. Mr. Koessl?

Wayne Koessl:

Mr. Chairman, I would like the Village staff to respond to this because this is not our policy of letting water run from one area into another one. Jean, would you do it or would our engineer?

Matt Fineour:

I can provide some input I guess on the stormwater of the area. So what I know is I think about three years ago I was called out there from both subdivisions actually for different reasons. This area is on the borderline of Foxmoor Estates and Countryside Estates. Foxmoor Estates has a pond right below Countryside Estates' pond there. And they both outlet to basically where the bike trail is. And there's a culvert under the bike trail. So when this subdivision was developed both those developments go to retention basins. Those retention basins discharge towards the bike trail, and there's one culvert under the bike trail that takes it from the west to the east.

When I was called out there from the Foxmoor aspect they had some problems with their pond so I looked at that pond. Countryside Estates I think a homeowner president called me out there plus a resident to look at the dry pond out there because the dry pond was not mowed. It was overgrowing with just natural vegetation. And I think at that point in time also then I believe the person who spoke tonight also said that there is some flooding back there by the bike trail area.

When I looked at it, looking at both the plans and actually walking out there, there is one culvert under that bike trail. So when that subdivision was platted it has a wetland area that was platted



around the lots there. It is expected that when drainage goes to that bike trail with that one culvert, whether that culvert's big enough or whether -- it's a three foot diameter culvert so it's going to build up three feet before the maximum capacity of the culvert is. Based on those elevations that wetland area around those areas looks like it would be inundated with water for a little bit until the whole thing drained out.

Worst case scenario in looking at it I've never seen it flood and I haven't seen these pictures. But worst case scenario when I look at like the lots being developed is that, okay, you have a huge rain, whatever the case is, and it's going to overtop that bike trail. So when we look at the subject lots that are having their wetland delineation kind of changed there, when those lots get developed they'll be high enough that even if you get a torrential rain it does overtop that bike trail that those lots are higher than the bike trail.

But I didn't see anything when I was out there that caused me any like eye raising like something is abnormal. I do expect drainage back in that bike trail area to kind of I would say inundate a little bit during that wetland area. It is a wetland, wetland there for a reason. And so I didn't see any. But, again, I didn't look at the pictures. I haven't gone out there and seen it when it floods. I think both association presidents and a couple residents out there if I said if it does flood give us a call and we can go out and at least look at it so we can determine whether it's the culvert, if it's a downstream obstruction that's blocking things up.

I did go out there three years ago and there was a lot of yard debris by the outlet so the inlet on the west side of the culvert there a lot of yard waste was being built up by that outlet. It was hard to tell if it would get clogged. If that culvert gets clogged it could back up. That yard waste was not removed, it's just basically deteriorated over the years through there. But like I said I did not see anything that raised a great concern but, again, I didn't see it flood. Regarding a wetlands itself, just so you -- when it gets redelineated it's an assured biologist that delineates that wetland. So they do look at the plants, they do look at the soils. They're an independent biologist who delineated this one, delineates several throughout the state.

And the third thing I guess I'd just point out is those lots I'd be careful of the term that they've been unbuildable. They've always been buildable. Anybody could go out there and build a home on one of those lots, it's just where the wetland line is. You have to stay out of the wetlands, so wherever that wetland line is you have to stay out of it. And I think it's just a wetland delineation to determine where that line is. And from that determination it looks like it shrunk rather than grew. They usually grow, but it shrunk in these lots, so that's where I think the wetland delineation amendment here tonight is being brought forward.

I'd be more than happy to go out there. I'd be more than happy to have a meeting with anybody who wants to talk about this drainage. But like I said I didn't see anything when I was out there. And we were out there again in October, and we walked the bike trail area just because we heard that there was some rumbling regarding the drainage again back there. And we walked it and we couldn't see anything back there that would cause any flooding, like I said, other than what I would expect it to do just because of the culvert. And I don't mean the culvert's undersized, it just means that if you have -- like I said, if the culvert is a three foot diameter culvert that water's got to build up that three feet to the top of that culvert before the culvert's at capacity. You take the top of the culvert and you basically have a plane that's going across your topography, that's where you expect the water to see.

So, again, I'd be more than happy to go back out there and look at it some more. These pictures might show something that I don't know, but that's about the input that I can provide.

Renee Proctor:

I'm sorry, your name was?

Matt Fineour:

My name's Matt.

Renee Proctor:

Hi, Matt. We met in May of that year, 2016 is the year. We met in there and I followed it up with an email to you. I also want to say I have called in when the water was flowing. I'm going all the way back to 2009 when I called the Department of Public Works after meeting with them twice. And they assured me someone would be sent out. And then we come forward and it's continued noncyclical that way, or cyclical I guess is the right word.

I would also argue that the wetlands have grown, not shrunk. The wetland delineation person did our lot as well as lot 17. She called me on the phone and said that she is a vegetative expert, and she's going to defer to the DNR because they gave the opinion of it being a hydrology thing. That the DNR also felt that wetlands ebb and flow and they grow and they shrink and they grow and they shrink.

I would argue that the course of the life of this area as shown by not only the long-term images but records back to the 1800s show that this area has been wet, remains wet and continues to grow as wet. And as the development in the area continues so does the water continue to grow. It makes sense when you displace water, whether it's one home or a building or a development or a subdivision that water has to go somewhere. I am telling you we are at capacity, and the Village knows this and has been aware of it. And it's not fair. I am, again, asking for the Village to do the right thing.

I purposely kept names for the last ten years out of all my recording for this public hearing tonight. I do not wish to throw anyone under the bus. I have purposely kept written documents between the County of Kenosha and Pleasant Prairie out of it. I purposely kept things out of this public hearing so that the Village has the opportunity to do the right thing. I'm not an engineer, but I do know the engineers have the final say in what goes on and so does the Village. And you're asking to put new homeowners potentially and current homeowners under water. It's not right.

You must have a plan. I'm going back to that argument. You must have a plan, and you must have a plan how it's going to be paid for and how it's going to be done, how it's going to be maintained, and who is going to pay for all that? And then don't all those people have the right to know that they're going to bear the brunt of some new drainage system? Don't they all have the right to speak up that it's going to affect all of their values and their homes? I think so.

I am not opposed to new homeowners coming into the neighborhood. I am opposed to what's happening with the water drainage. And really honestly I would like to keep the wetlands. But I'm not going to keep out neighbors because of the wetlands. We have a water problem. We have a water problem. And if you take away the wetlands that are currently serving as a source of retaining that water and then flowing it out, you're taking away a chunk of the water that's not coming into my basement. And by your words, Matt, in 2016 my basement becomes the neighborhood retention pond. You stood on the berm and said that.

Matt Fineour:

I don't remember saying --

Renee Proctor:

I know you don't remember.

Matt Fineour:

-- or seeing that your basement would have an issue. But like I said I haven't spoken to you since 2016, so if you have pictures or anything I'd be more than happy to look at them, more than happy to take a look at your house and compare it to where it's expected to flood in the wetland.

Renee Proctor:

And as I said in 2016 you said you looked at the elevation maps and my home would become the neighborhood retention pond if anything was to change on that lot.

Matt Fineour:

I don't recall that.

Renee Proctor:

I'm sure you don't, and I apologize for that. But I do and I have records and I have notes. And I apologize again to my neighbors who may never speak to me again, to those trying to sell their lots, to those coming in as new neighbors. I apologize deeply. I sincerely did not want to be here. I started all this nearly ten years ago quietly and patiently.

Wayne Koessl:

Mr. Chairman, a question to Jean. Did we not have water problems with this area years ago? Pardon? Yes, I'm asking you. I thought we had problems with the county with their bike trail and that drainage ditch they had under it or is that not my memory. And what happened to our ordinance where you cannot run water off of one property into another one?

Jean Werbie-Harris:

A couple of different things. This was designed as a single subdivision. So any stormwater that comes to this subdivision needs to be handled by this subdivision or released at a rate no faster than it's coming to the site right now. I mean I'm not aware of all these different things that have been said tonight, and I'm going to recommend that this be tabled so that we can get a better handle on this.

Jim Bandura:

I agree.

Wayne Koessler:

I'm going to move to table it so it can get resolved.

[Inaudible]

--:

I'm the owner of lot 17.

Wayne Koessler:

I don't care if you own 15, 16 and 17, I'm going to move to table this.

Jean Werbie-Harris:

But let me just finish --

[Inaudible]

Jim Bandura:

Let Jean answer the question please.

Jean Werbie-Harris:

So the bottom line is that we rely as a Village on the Wisconsin DNR or assured biologist to determine and to provide to us exact science information as to where wetlands are on the property. I and my staff are not experts with respect to that. So if they give us a revised delineation report that shows wetlands have either increased in size or decreased in size we have to rely on that. We rely on whatever the DNR has assured for a particular property. So I can't argue unless we challenge the delineations, and then we would have to go to SEWRPC or to the Corps of Engineers as to why all these delineators and the DNR have not appropriately identified the soils, suitability and the plant life and any of the other indicators that show that these wetlands exist on the property.

Do wetlands grow and shrink? Absolutely, all over the place they do. But we rely on experts to determine exactly where they were. Could they have shown us something else back in 1990 when this was platted? Absolutely, and it could be different today. The other things that could be going are high ground water and soil suitability with respect to those indicators. So there could be different things that are going on. When I look at this wetland map and then I look at what's on the ground based on an aerial photo it looks like there has been some possible additional grading work that was done or filling work or lawn mowing work by all of the landowners in that area based on these maps. So it really needs to be looked at what it is today, and if there's potential problems we should identify what those problems are.

Were these lots identified to be buildable when this was platted? Absolutely they were, they were. All the lots were legal as platted. And some of these that are on the cul-de-sac they can reduce their width at the setback as long as at the setback line which is 30 feet that they have the appropriate width for that district which is R-4. So all of these lots were legally platted, and they're all of legal size and they all meet the zoning ordinance requirement so that's not a question.

Jim Bandura:

When was this platted?

Jean Werbie-Harris:

It looks like it was about 1990. I'd have to go and find the recorded plat. I'm sorry, 1995. Back then copies of the recorded plat did not come back to the Village. They're down at the Register of Deeds office. So if we have to get it, the original recorded plat, we'll get a copy so that we've got that in our office.

Jim Bandura:

So that's another question.

Jean Werbie-Harris:

The other thing that is much more clear today which wasn't in '94, '95 is that property owners are the ones that are liable, responsible and have to take care of and manage the stormwater management facilities and wetlands that serve that purpose in their own subdivisions. It's not the Village's responsibility, it's the homeowners' responsible as part of an association, or in this case if they placed it as a specific lot owner's responsibility. So there's a lot of research that -- to be honest I didn't know that this was an issue until I talked to my staff right before the meeting. There's a lot of research that we can do on this. I need to talk to the Village Engineer, I'd have to talk to public works.

But, again, the property owners that want to build on these lots they've followed the procedure in having the wetlands delineated and so on and so forth. Maybe one of the things that is quite vague on this old plat as whose responsibility it is to clean and maintain those wetlands so that they serve as stormwater management basins. Today the DNR does not allow us to use wetlands as stormwater management basins. We have separate basins from the wetlands. So wetlands can

be for temporary sedimentation or storage areas, but they really are not intended to be the basins that get dredged and they get cleaned out and then they get expanded if additional stormwater is needed.

There are a number of things with respect to this that I don't have the answers to. Maybe the petitioners have some additional information or Matt or Peggy can add to that. But, again, personally I was not aware of the ongoing water problem. That doesn't mean that there isn't one, but I wasn't aware of it.

Jim Bandura:

I feel like there's too many questions right now. Go ahead, Mr. Koessl.

Wayne Koessl:

Mr. Chairman, through the Chair, I think it's incumbent upon the Village to look into this issue to make sure that everything will be right for the people that are selling property or going to build out there.

Jean Werbie-Harris:

Others are here, and I think that they would like to speak as well.

Nathan Thiel:

And just for a point of clarification it is a public hearing. I don't think the public hearing closed. So they should have the opportunity to speak.

Michelle [inaudible] Parks"

Michelle [inaudible] Parks [phonetic]. I own lot 17 with my husband Jim of Countryside Estates. We bought this lot as a buildable lot next to our former home which is also right next door to it which we've already sold. During that time, yes, it is the responsibility of the Estate, the homeowner's association to take care of this. I empathize with my former neighbors that there is water issues. Do they rise to the level of affecting my lot, no, they don't. As Matt has said these lots are buildable higher up.

I do believe that the drainage issue should be addressed. I'm not doubting that. I think there are culvert issues. I do agree with the vegetation being dumped in there. We have many a neighbors dumping grass, all kinds of stuff in those areas. I do think it should be looked at. I think those issues, though, are separate and apart from what we did here which was legally go about going through -- I not only had an assured biologist come through, I took the most conservative path protecting my neighbors with an assured biologist who also then had the DNR come out a second time to make sure she was doing it all correctly. We followed every letter of the law in having this delineation done. And quite frankly our delineation didn't really move all that much. It just shortened it a bit.

Our lot was always buildable. It still is regardless of where that is. And, again, I think these are separate and apart. To table this I think is the wrong thing to do. There's pending sales out there. I think there's interference with those sales that are going on. But I don't know why we should be looking at potentially devaluing our properties as well here without having any say whatsoever. Thank you.

Jim Bandura:

Anybody else wishing to speak?

Renee Proctor:

The final delineation of the wetland was done in 1998 by SEWRPC. I have been in discussion with SEWRPC both by email, and to my knowledge they did not delineate it at this time. It was all done. I had the same wetland expert come out and do our lot that did Michelle's, lot 17. She's the one who called me and said after she met with the DNR she would defer to the DNR because they were -- I don't know, I'm not putting words in her mouth but hydrologists, their expertise in vegetation. I paid a great deal of money for that delineation as I'm sure Michelle and Jim did as well.

I also said in my email which I'm positive I copied Michelle in it I have no means of hindering or holding up their sale of their home. But I also am not going to roll over after ten years of addressing this issue and let our home go under water. And I apologize for that. I also apologized up front. I apologized when Michelle approached me this past spring or this past year and said they were going to fill in their lot. Which I said to her you can't fill it in. This isn't a surprise to anybody. This isn't a what if. This is ongoing. And, again, it was not my intention to make this a big public problem. That wasn't my intent.

[Inaudible]

Jim Bandura:

Anybody else wishing to speak? Anybody else?

--:

I'm Michelle's husband. And first of all as far as I'm concerned and I think not to speak for my wife I'm not going to not talk to people over this, Renee. I understand you're trying to protect your house. I get that. I am an engineer but I'm not a civil engineer or an environmental engineer, so I don't know anything about wetlands. But that is exactly why we got the assured biologist that we paid a lot of money for to make sure that this was done right. Even knowing that the lot, again, as my good wife as said was buildable before we even got the assured biologist. The person who was the buyer requested that be done. It makes sense they wanted to know where that delineation was. And so we went through that process. And we've done everything I think that we legally have needed to do.

I'm a little disturbed that there's these things going on potentially for years that weren't addressed. But I guess I don't get it. I don't understand. You've got professionals here. There's

one thing I would say, an issue, the builder that is looking at our lot has never been in contact with your engineers. Has never. Well, he might have been in contact, but they have no relationship before this even happened. And so the idea that there was something nefarious going on between the builder who wants to build on our lot and the Village I think is a bit ridiculous.

Jim Bandura:

Thank you.

[Inaudible]

Jim Bandura:

Please take the microphone.

[Inaudible]

--:

[Inaudible] even announced that plans were already in place for the development of those lots. That the wetland was already cut down before this wetland delineation took place, a portion of that wetland on lot 16. But before this meeting ever came to place tonight our HOA was asked to approve a preliminary house plan. And then this last week an email comes through that they were in works with the Village Engineer closely to get the final home plans approved. That all happened before this meeting ever took place. I'm not saying it's nefarious. I'm not saying it's underhanded. I'm not saying whatever. I'm saying these are the facts as I know them, and I don't think they're right. Not when I've spent, guess how many years, ten years politely asking for this to be addressed. Please feel free if there's more to add to this.

[Inaudible]

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So, again, we put our lot up for sale. A buyer came forward.

Jean Werbie-Harris:

Refer to the lot numbers.

--:

So that's 17. They were talking about 16, we're 17. We put our lot up for sale. We have a pending offer. They asked for the delineation to be done. I believe, I could be corrected, but I believe that their house can be built regardless of the delineation. They submitted their house plans. There's nothing nefarious about that whatsoever. They submitted their house plans. They've been working with the Village to see if those house plans can be approved. That's it.

Our neighbors did contact the real estate agent for our buyer, sent them emails. I was not copied on those. I was forwarded them during that time and said, you know, they shouldn't even be



building on their property. That did happen which is why we're here tonight. Because we have followed everything, again, to the letter of the law. So did our potential buyers of this house. We have a sale pending. That's it. Thank you.

Nathan Thiel:

So can I just add a few points of clarification because I'm trying to catch up. Just for clarification of tonight's meeting, what's being reviewed tonight is the delineation of the wetlands.

Jim Bandura:

Correct.

Nathan Thiel:

Sixteen and 17 they have submitted plans. It will come to the Plan Commission at some point in time, grading, verifying and making sure that there's no water that's being pushed onto other peoples' properties, things of that nature. That's not being brought forward tonight. So anything that's --

Jean Werbie-Harris:

And that would only go to the staff.

Nathan Thiel:

That will go to the staff, correct, okay. But I guess the point that I just want to clarify is that it was implied that we've just approved things, and we're coming here asking you to rubber stamp something and that is not correct and inappropriate. I don't appreciate that being thrown at any of my staff. And so the point is that if the Plan Commission would like us to go back and verify with DNR and verify with this biologist to make sure that everything is appropriate and adequately addressed we can do that.

Having said that I have confidence that due diligence that that's taken place. And our staff will be, as they review plans they'll be making sure that water is not being pushed onto other properties as we always do. So I feel bad that there's not a significant level of confidence in the staff. There was voices of skepticism in our efforts. That's disappointing to me. But at this point I don't know if we're going to be able to fix that.

So what's before the Board this evening, and if you want us to go back we can, but what's before you is a delineation was done. DNR has responded. I will say that wetlands do change over time, they do ebb and flow. This time it was to the benefit of the property owners. Sometimes that is not always the case. The majority of times that is not always the case, but that's what's before the Plan Commission this evening.

Brock Williamson:

Can I just ask two questions, real quick two questions? In our agenda there's a picture on Exhibit 2 that shows a detention pond. But that picture is an aerial shot, there's no water in it. Does water ever go into that detention pond and what is the purpose of that? And then it looks like two culverts going through the bike trail. What happens with that water? I mean is there any concern east of the bike trail as well?

Matt Fineour:

So the detention facilities there the Countryside's detention pond is a dry basin so it's not a wet pond. I think when I visited out there like I said it was -- no one mowed it or anything, it was just growing natural vegetation pretty tall. So drainage from that subdivision enters that pond, goes through that vegetation. There's an outlet to that detention facility. And that outlet it's directed towards the bike trail. And then there's a pond just south of Countryside Estates, it's Foxmoor Estates pond, that is also a dry basin in there, and that discharges towards the bike trail. There's one culvert under that bike trail.

And so the wetland area that is being discussed here this evening is not in a detention basin, it's not a stormwater management basin or anything like that. It's just kind of an extended low area from that bike trail that when water builds up along that bike trail area it's going to enter that wetland. So that wetland when you look at the grading plans through the subdivision grading was basically carved around that wetland to avoid it. And that wetland is really adjacent to the bike trail. So that's kind of how that works, but there's only one culvert under that bike trail. And there's a storm sewer from that cul-de-sac on the north that discharges towards that bike trail as well. It goes down the bike trail area to that one culvert that crosses it.

When we looked at that culvert, like I said, on the upstream side on the Foxmoor and Countryside Estates, there was at that time when I was out there in 2016 there was a lot of yard waste being thrown back there. When we went out there again this fall that yard waste was kind of just naturally rotted. I mean you could still tell it was there. Then on the other side of the bike trail there's a natural creek there. You can only walk so far on a typical day, but whether there's a beaver dam somewhere downstream or something like that that backs water up that could potentially be a case, too, at some point in time.

Brock Williamson:

Would the detention pond help her case? I mean is that intended to relieve water from your property?

Renee Proctor:

I'll go back to the detention fills when it rains as well as the wetlands. And if I go back to when the County of Kenosha for the development questioned whether the drainage with consideration [inaudible] in their letter if that drainage was sufficient for this new division, Countryside Estates, they had to go back to an engineer. And it's not the Village Engineer but an engineer that [inaudible] plans of the neighborhood. That engineer came back and said per the Village Engineer requirements it's going to be sufficient.

Again, after all of that it was the Village Assistant Planner who said that in addition to, as I said earlier, in addition to the wetlands, in addition to those low areas, this detention pond was needed. So the two things are needed to sufficiently drain our neighborhood. Both fill up. I'm not kidding, they both fill up. And then they overflow when we end up with the extra overflow from the north subdivision and the subdivision from the south. I didn't catch the gentleman's name [inaudible]. I'm in front of the outlot. So I know there was another point I was going to back. I feel badly, but this isn't new news. The outlot fills up, the detention pond fills up. It's meant to slowly release the water as part of nature. That's what I can tell you.

[Inaudible]

Jim Bandura:

Please take the microphone.

--;

It was cut at one time. It hasn't been cut ever since so it is full of vegetation, full. So I don't know what would happen if it was actually cleaned and cleared. So I think that is part of the hindrance, too.

Renee Proctor:

The detention pond was cut for many years until the neighborhood decided to stop paying their association fees. When the association stopped paying their fees, a few of the neighbors, is when our neighborhood went through a change. We brought that before the Village of Pleasant Prairie as well. When the neighbors that chose to hold back their association fees the subdivision owner who was maintaining that and all of the pieces that needed to be maintained per all the plats, per all the rules, per all the regulations that they had to jump through for this subdivision to be made, it stopped being maintained and then the cattails grew in. The cattails over time I was told were part of nature's vegetation and part of drainage. I questioned that. I was told that was wrong, I was wrong to question that.

Two years ago when Matt came out he cited a whole different rule, one about noxious weeds, we could fine you guys for noxious weeds. Every turn it like a whole other rule that they could cite us or fine us or give us another ruling on what they could do. But I agree the vegetation is there. If that's a hindrance, great, it's not the hindrance. The water has been there. This is a ten year ongoing problem. It gets a little bit worse every year, and that water problem didn't start when the cattails came, it was prior to that.

Jim Bandura:

Ma'am, we understand that, and we'd like to move forward on this.

Bill Stoebig:

Can I ask one more question? What was your name again?

Renee Proctor:

Renee Proctor.

Bill Stoebig:

Renee. So I'm looking at the plat that you provided us, or not provided us but that you presented. And just looking to me it almost looks like this area that's green in your yard is all wetland so --

Renee Proctor:

In fact, as ten years has afforded me I've learned a whole lot more that maybe the Village shouldn't have allowed my home to be built because in this plat, and really I'm going to share it now --

Bill Stoebig:

Well, so you didn't build on the wetland.

Renee Proctor:

I get that, but this plat which the Village approved or something very similar to it our lot which is lot 19, let me go around the corner here, the staking of SEWRPC's 1998 wetland encompasses over half of our lot. So it would have been pretty difficult to build our lot but it was built. And that same SEWRPC 1998 delineation has been in effect until just this year. So there are things that I say are questionable. I came for ten years patiently and quietly. The Village has chosen to let this be a public issue instead of let's just do the right thing. I want [inaudible] to be able to sell [inaudible]. I want new homeowners to move into the neighborhood. I want for things to be done right. But if you agree to move forward with the wetlands delineation as the DNR is [inaudible] it with the Village, I can't help but I know you say I'm kind of leaning that way to assume things, how could all of that building or approval of home plans or the working in conjunction with the builder to make plans --

Bill Stoebig:

So my point, though, why I bring this up is so you didn't build in the wetland, but what you're arguing tonight is that a delineation should not be changed according to what a biologist has deemed--

[Inaudible]

Bill Stoebig:

But yet letting your property go back to a wetland state or a vegetative state to take on that water there appears to be a little bit of I don't want to use a condescending term but --

Renee Proctor:

Go ahead, say it [inaudible] --

Bill Stoebig:

There's just a little bit of a disconnect in the sense that you're making the claim and asking your neighbors who the biologist is saying that it's not wetland, and you're saying they can't claim that property. But yet at the same time there's property in your own yard that technically is probably wetland, and yet you're not maintaining it like wetland. Do you follow what I'm saying --?

Renee Proctor:

[Inaudible] what I'm telling you also is what you just pointed out that the land that looks green in our yard which goes up to almost the back of our deck would be wetlands. And when you approved the home lot --

Jean Werbie-Harris:

We didn't have setbacks of 25 feet at the time.

Renee Proctor:

Oh, we did because when we moved in [inaudible] they told us we had a 25 [inaudible].

Jean Werbie-Harris:

No.

Renee Proctor:

How do you know this now?

Jean Werbie-Harris:

Because I've been here for 30 years.

[Multiple Conversations]

Renee Proctor:

[Inaudible] because I have emails.

Jean Werbie-Harris:

I don't anything about your emails, but I'm just telling you the rules were not always the same. At the initial point we didn't have setbacks to wetlands. It wasn't until after we learned about the significance and the encroachment that residents were going into the wetlands that we started to

look at it a lot more seriously, and the Plan Commission and the Board created a defined 25 foot setback.

Renee Proctor:

Okay, so then you're saying our house is built basically in a wetland because --

Jean Werbie-Harris:

No, no, no. What I'm saying is that you're not maintaining a 25 foot setback to what was identified as wetlands on that plat. I'd have to go pull out all your original documents to see. But just looking at that and just looking at what the area looks like today --

Renee Proctor:

Well, our house [inaudible].

Nathan Thiel:

Your home would be what we call legal nonconforming.

Jean Werbie-Harris:

Right.

Nathan Thiel:

Meaning that it was built -- I'm presuming, I wasn't here at the time, but I'm presuming that your house was built outside of the wetlands. And that what policy came later on is that there would be a 25 foot setback. If we had had that policy in place when your home was built then it would have changed the dynamics of your house.

[Inaudible]

Jean Werbie-Harris:

You would have to look it up, she would have to look it up. But how did all your back yard get graded and green, I mean how did it become a manicured lawn if that was all wetland?

Renee Proctor:

You can argue this. [Inaudible] conversations here before this so I understand where this is coming from. I'll tell you this --

Nathan Thiel:

No, there have been no conversations prior to this. This is me looking at your plat that you presented tonight. This is the first time I've heard of this issue. So, again, for the record I want

to be very, very clear, I want to be very, very clear that this was me observing it tonight and bringing up these points.

Renee Proctor:

When we purchased our home in 2002 we were told there was a 25 foot setback. So we purchased our home in 2002, we did not build it, it was built. We purchased it as it was being built. So we knew when we purchased our home that there was a 25 foot rule where that house could go to. So we knew that the end of our stair steps if you will was at the 25 foot mark or within the right to be built with 25 feet at least to the wetlands. When I went to the Village Hall in 2002 I asked what we could do with the wetlands. I was told to keep it cut back so that it would not encroach into our yard. And so the wetlands [inaudible]. But when it has flooded over the last 15 years it has flooded up to the almost exact lines and levels of elevations that you will see on all the coming history. It floods right up into our yard --

Jean Werbie-Harris:

Because it was natural floodplain or natural wetland.

Renee Proctor:

[Inaudible] it's almost scary that something from 25, 30, 40 years ago is exactly where that water is going. It's still there. It's not going away. It's nature. You can't govern nature.

Jean Werbie-Harris:

It's a natural wetland area because of the soils.

Renee Proctor:

[Inaudible] the documents I have say that the Kenosha County questioned it and that the Village knew of it. And that in some of the runs of finalizing this subdivision they knew that the wetlands needed to be used as a natural occurring drainage, and in addition a detention pond had to be there. It's all in the 17,000 revisions of the subdivision being [inaudible]. And I also understand that a developer just doesn't make these plans up themselves. I believe after reading through years of information that a poor developer has to jump through all kinds of hoops. And even in one of the memos it said it couldn't be approved unless it approved by the staff and the engineers of the Village of Pleasant Prairie.

[Inaudible]

Jean Werbie-Harris:

It's designed by the engineer of the subdivision. And then they will review it, but they don't redesign it.

Renee Proctor:

Okay, and then I'll say to that one of the letters that came back from an engineer on behalf of the developer was that they were going to the specifics of the Village of Pleasant Prairie. That the developer's engineer, I believe it's the developer's engineers, don't quote me, I don't know this information verbatim, but one of the letters that I read said that that engineer also put it back in [inaudible] to say that they were conforming or meeting the requirements of Pleasant Prairie's engineers. So now not only does Kenosha County have it in writing because they wanted to cover something clearly, an engineer working on behalf of the developer needed to make sure that it was in writing that a Village engineer mandated the flowage or out flowage or the side of the culvert. And then that's a question because now you got me going, Matt, I'm going to ask you where does all the water flow from the Countryside Estates? Where does the design flow because I've gotten several answers to this over the years?

Matt Fineour:

Well, the drainage that we're talking about goes to the culvert that crosses the bike trail. So you can see the creek right in that photograph in the lower right hand corner that's where it kind of goes to.

Renee Proctor:

That's where the retention -- the detention pond drains. Where does the [inaudible] water go?

[Multiple Conversations]

Matt Fineour:

The cul-de-sac has a storm sewer that discharges towards the bike trails.

Renee Proctor:

And where does that water go to?

Matt Fineour:

It goes south to that creek to that culvert.

Renee Proctor:

[Inaudible] go north. Is it designed to go north?

Matt Fineour:

No, it goes south.



Renee Proctor:

The public departments of works or public works department one time we sat down, and they explained to me how a detention pond works and how the flowage is designed in our neighborhood. One of those discussions is the water flows south to the creek that runs out. Another portion of the discussion is that runs north and runs out and everything goes under the bike trail. So I guess, again, there's questions. Where is the water designed to flow? Who is maintaining it? One of the earlier things I even raised was, gosh, maybe we just need to dig the ditch along the back of the bike trail which [inaudible] you'd have to discuss that with Kenosha County. I never got an answer for that. I don't know. I'm trying really hard, I'm trying really hard.

Jean Werbie-Harris:

And I can just add one more piece of information is that when this home was built the application was submitted in May of '01, the project was put on hold at that time so a new wetland delineation could be done by SEWRPC. And it was approved by the Village in July, July 9th of '01 when a new wetland delineation was done that pushed the wetland delineation marking and the wetland boundary I should say further to the east.

Renee Proctor:

Okay, so SEWRPC this year did not have that on record to give me so just so you know.

Jean Werbie-Harris:

They provided it to us.

Renee Proctor:

They had the 1998 one. So that's why I say there's so many questions.

Jean Werbie-Harris:

So it changed significantly.

--:

So [inaudible] what's actually built --

Renee Proctor:

But also to go to what you're saying is what I believe after I've lived here 16 years the wetland as nature had provided is literally up to our deck.

Jean Werbie-Harris:

Well, the soil, the groundwater --

Renee Proctor:

Right.

Jean Werbie-Harris:

The groundwater storage, that's different.

Renee Proctor:

So when you're asking that and you're asking to push away more water our basement is the lowest point in the neighborhood.

Jim Bandura:

Okay, we understand what the issue is here. However, the Village has gotten all of the information from the wetland staking. And, again, as I mentioned earlier the DNR can create some problems for a lot of people. So this is something that I think needs to move forward with the stipulation that working with the Village, and if the wetlands need to be redelineated so be it.

Jean Werbie-Harris:

The wetlands all have been delineated on Renee's property and the Parks' property. Everyone has got the new delineations. The problem is that they're either very saturated soils, high groundwater or some type of drainage problem that needs to get resolved as part of the building [inaudible].

Jim Bandura:

But they still could question the DNR, am I correct?

Renee Proctor:

I am then questioning the delineation done this year on all the properties. That's what it is. I'm questioning it.

Jim Bandura:

We understand. We've got one more gentlemen here.

Brian Johnson:

I thought I should talk, too. Thanks for the opportunity.

Jim Bandura:

Your name and address please.

Brian Johnson:

My name is Brian Johnson, 3132 106th Place, and I'm the owner of lot 15. So with all due respect to the Proctors I do understand their concerns, and I do think they should be addressed. However, I think what Nathan said a few minutes ago is where we're really at. It's either do we trust the DNR then we should move forward and approve. If we don't trust the DNR then it's a whole other issue. Thank you.

Jim Bandura:

Thank you.

Brock Williamson:

Like you I kind of have some water issues, and Matt has come out and looked at that. And, again, it's putting trust and faith in Matt. We had a really severe storm years ago, and the water did actually come up over the road in front of us. It ran down through the ditch down to the area behind us. Our sump pump runs frequently when we have heavy rains. But on the other side of it that's just kind of what we know living where we live. And then it gets to a certain point and I don't hear our sump pump for months. So it is a very challenging situation. But, again, water has to go somewhere, and it seems like it is designed to go up and over the path if it's beyond capacity of the culvert at the time.

Jim Bandura:

Moving forward if there are no other comments I'm going to close the public hearing, questions and comments, and move it to the Commissioners for their questions and comments.

Wayne Koessl:

Mr. Chairman, unless the other Commissioners have some comments I'm ready to make a motion.

Brock Williamson:

I have another quick other. Is there any way to add some riprap to the east side of the bike path to kind of keep that more an open flow to make sure that that's not in any way impeded when we get these high volumes of rain?

Matt Fineour:

On the east side, yeah, we can take a look at it. I think on the east side we can take a look and make sure that that area is clean. We walked a decent portion of it, but then again we didn't go walking the whole creek. So we can take a look at the east side if there is riprap or there needs to be more riprap in there.

Jim Bandura:

Jean, did you have a comment?

Jean Werbie-Harris:

Yes. I just wanted to mention that this is a Plan Commission recommendation this evening. So if the Plan Commission chooses to conditionally approve subject to any conditions, we can either at this point do some further research before it goes to the Village Board, or move it to the Village Board and conditionally approve it again. So, again, it goes to the Plan Commission tonight just as a recommendation, but it's the Board that has the final say or final approval on this consideration.

Jim Bandura:

Understood. And I think that needs to be looked at, and I'm in agreement with that. Mr. Koessler?

Wayne Koessler:

There's been a lot of comments back and forth about this issue. And I've always had complete faith in the Village staff. I think the petitioners have followed the letter of the law and know what they had to do to get their delineation done. And I think that I'm going to make a motion that the Plan Commission approve Resolution #18-26 and send a favorable recommendation to the Village Board to approve the Comprehensive Plan Amendments as presented. But I want to add a subject to it that the Village will look into the cause of the water problem in this area and see if they can find a basis for resolving it.

Jim Bandura:

As your statement, Jean.

Jean Werbie-Harris:

And it may involve lots 15, 16 and 17 looking and participating with us in making sure that their stormwater is being handled appropriately.

Jim Bandura:

I understand and I hope the Commission understands that that a full discussion with all of the owners needs to --

Brock Williamson:

Right, the homeowners association needs to be more involved --

Jim Bandura:

Correct.

Brock Williamson:

-- in focusing on that area to make it move through.

Jim Bandura:

Gentlemen we have an approval. Do we have a second?

Brock Williamson:

Second.

Jim Bandura:

**THERE'S BEEN A MOTION BY WAYNE KOESSL AND A SECOND BY BROCK WILLIAMSON. GENTLEMEN, WHAT'S YOUR PLEASURE, YEA OR NAY?**

Voices:

Aye.

Jim Bandura:

It's been approved to move forward with the discussion pending.

Wayne Koessl:

And we have one more, don't we?

Jim Bandura:

Yes, we do. We have Item D, public hearing and consideration for the Zoning Map Amendments. This is a public hearing. Anybody wishing to speak on it? Anybody wishing to speak? No one else?

[Inaudible]

Jean Werbie-Harris:

If we could just clarify --

Jim Bandura:

Then I'll close the public hearing now.

Jean Werbie-Harris:

Are you looking for the staff to work on this before it goes to the Village Board and be conditionally approved by the Plan Commission and then staff sit down with the affected property owners and work on resolving this before it goes to the Village Board.

Jim Bandura:

I would say yes because -- would we have time?

Wayne Koessl:

Would you have time to review that before it goes to the Board on Monday?

Jean Werbie-Harris:

Well, the problem is is that there needs to be drainage plans that get put together for 15, 16 and 17. Fifteen they were working with the Village Engineer -- 17 was working with the Village Engineer. Fifteen and 16 we have not put together, and I don't think the property owners or builders have put together drainage plans yet.

Jim Bandura:

Do you think that would be feasible?

Jean Werbie-Harris:

In the next two days no.

Jim Bandura:

So staff recommendations are to approve?

Jean Werbie-Harris:

We can't issue building permits until we have drainage plans for the affected lots. I don't know without talking to Matt whether or not one lot will affect the next. Typically they do. And so I don't know if he's looked at all three of them together at this point or if he's just looked at the drainage plan for 17, I don't know. I'll defer to Matt.

Matt Fineour:

Lot 17 has started a grading plan so they were kind of looking at how to grade the lot for it. So 17 does affect the adjacent lot. But I did call the property owner to see what kind of house they were thinking of placing there. So I think 17, 16 and 15 can be kind of -- normally they would submit individual grading plans because their houses are going to be developed at different times. So as far as the drainage to me I think the wetland issue is separate. We can address the drainage as a separate entity. I can certainly work with our Administrator and planning staff here to go

over the situation out there that I know of. And then kind of get a little bit more information from anybody who is out there that's experienced flooding or seen it and come up with something different. But I don't think the development of those lots is going to affect the outcome as far as any kind of solution or anything like that about cleaning the drainage way back there or anything else.

Wayne Koessler:

That was the intent to my motion that we were to approve the Resolution 18-26 which would include those three lots. Because they have gone through all the steps of getting them done. But the added part was that the Village should look into the issue of that water problem in that area.

--:

But they can still do that with the Village Board approval, right?

Jim Bandura:

Right.

--:

So it's a matter of, again, there's a lot of things at play that still need to move forward that we have the commitment of the Village staff to look into it.

Jim Bandura:

So in the interim the Village staff can meet with the owners prior to the Village meeting?

Nathan Thiel:

I think at this point Matt and I will reach out to the HOA, and we can look into the drainage issues. At this point I think it would be prudent for us to bring this forward, the recommendation forward to the Village Board at the next Village Board meeting. And we'll also have staff address kind of our next steps as far as discussing drainage with the HOA. I don't think that tying the wetland to the drainage issue is going to -- it's going to delay things and probably not resolve very quickly.

Jim Bandura:

**OKAY, WE HAD A MOTION BY WAYNE KOESSL AND A SECOND BY BROCK WILLIAMSON ON IT. SO WE SHOULD MOVE FORWARD --**

[Inaudible]

Nathan Thiel:

It's closed right now.

Jim Bandura:

We closed it.

[Inaudible]

Jim Bandura:

I closed it. Thank you.

Wayne Koessl:

We're ready for a vote.

Jim Bandura:

We're ready for a vote then for that. And you made the motion.

Brock Williamson:

And I seconded it.

Jim Bandura:

All right, moving forward we're all set.

Voices:

Aye.

Jim Bandura:

So moved.

## **7. ADJOURN.**

Bill Stoebig:

I would move to adjourn.

Brock Williamson:

Second.

Jim Bandura:

All in favor?



Voices:

Aye.

Jim Bandura:

So moved. We're adjourned.

**Meeting Adjourned: 7:44 p.m.**

- A. **PUBLIC HEARING AND CONSIDERATION PLAN COMMISSION RESOLUTION #19-01 TO AMEND THE VILLAGE 2035 COMPREHENSIVE PLAN**, to consider adopting the Village of Pleasant Prairie Park and Open Space Plan 2018-2023, as a component of the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan and amending Section 395-6 B of the Village Municipal Code to reference this new plan as a component of the 2035 Comprehensive Plan.

**Recommendation:** Village staff recommends that the Plan Commission approve **Plan Commission Resolution #19-01** and send a favorable recommendation to the Village Board to approve the **Village of Pleasant Prairie Park and Open Space Plan 2018-2023 as a component of the 2035 Comprehensive Plan** as presented at the January 14, 2018 public hearing.

## VILLAGE STAFF REPORT OF JANUARY 14, 2019

### **CONSIDERATION PLAN COMMISSION RESOLUTION #19-01 TO AMEND THE VILLAGE 2035 COMPREHENSIVE PLAN**

, to consider adopting the Village of Pleasant Prairie Park and Open Space Plan 2018-2023, as a component of the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan and amending Section 395-6 B of the Village Municipal Code to reference this new plan as a component of the 2035 Comprehensive Plan.

*The Village Park Commission has been working with Ayres Associates to update the Village of Pleasant Prairie Park and Open Space Plan (2013-2018). **Attached** is the updated Plan for the years 2018-2023, as approved by the Village Park Commission at their November 7, 2018 meeting.*

The Wisconsin Department of Administration requires that the Village update its Comprehensive Outdoor Recreation Plan, a/k/a as the Village Park and Open Space Plan, every five (5) years to maintain eligibility for grant funding for the acquisition and development of park and recreational facilities through the State Stewardship and Federal LAWCON Programs and to ensure that **the Village's** park planning goals, objectives, and policies are current.

Park land, recreation trails and natural areas are key components of high quality living environments. Such open spaces provide a community with many benefits. These include helping to meet human needs for outdoor recreation, promoting and accommodating a healthy lifestyle for residents, enhancing the aesthetic quality of a community, increasing property values, attracting visitors and tourists, shaping development patterns, and protecting the natural environment.

Over the years, the Village has planned for and developed a park and recreation system that is designed to meet the needs of the people who live in, travel to or vacation in the community. Along the way, the Village has not only accounted for its own park and open space needs, but has also maintained a regional perspective, taking measures to preserve critical ecosystems and watersheds, and providing parks and recreational facilities that serve the surrounding communities in Wisconsin and Illinois. This Park and Open Space Plan update was prepared to further this tradition of park and recreation planning in Pleasant Prairie.

**The primary purpose of the Park and Open Space Plan is to proactively plan for the Village's** future park and recreation needs. Furthermore, the policy recommendations and programs presented in the Plan will guide the acquisition, preservation, and development of land for parks, recreation trails, and other open spaces in the Village to meet the needs of a growing and changing population, including those with special needs and handicapped. Such recommendations will also serve to protect and **enhance the community's natural resource** base into the future. Although, the Park and Open Space Plan addresses the long-range park and open space needs of the community (through the year 2035), it also focuses on policy recommendations and programs to be implemented over the next five-year period.

Village staff recommends that the Plan Commission approve Plan Commission Resolution #19-01 and send a favorable recommendation to the Village Board to approve the Village of Pleasant Prairie Park and Open Space Plan 2018-2023 as a component of the 2035 Comprehensive Plan as presented.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #19-01  
TO ADOPT THE VILLAGE OF PLEASANT PRAIRIE  
PARK AND OPEN SPACE PLAN: 2018-2023  
AS A COMPONENT OF THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN,  
2035 COMPREHENSIVE PLAN**

**WHEREAS**, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

**WHEREAS**, on May 20, 2013 the Village Board approved Ord. #13-16 to adopt the Village of Pleasant Prairie Park and Open Space Plan: 2013-2018 as a component of the Village Comprehensive Plan; and

**WHEREAS**, the Wisconsin Department of Administration requires that the Village update its Comprehensive Outdoor Recreation Plan, a/k/a as the Village Park and Open Space Plan, every five (5) years to maintain eligibility for grant funding for the acquisition and development of park and recreational facilities through the State Stewardship and Federal LAWCON Programs and to assure that the Village/s park planning goals, objectives, and policies are current; and

**WHEREAS**, the Village Park Commission has been working Ayres Associates to update the Village of Pleasant Prairie Park and Open Space Plan and has held several open houses and public meetings to solicit public input; and

**WHEREAS**, the Village of Pleasant Prairie Park and Open Space Plan: 2018-2023 was approved by the Village Park Commission on November 7, 2018; and

**WHEREAS**, on December 11, 2018 the required 30-day notice was published in the Kenosha News related to the January 14, 2019 public hearing held by the Village Plan Commission.

**NOW THEREFORE, BE IT RESOLVED**, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby approves the Village of Pleasant Prairie Park and Open Space Plan: 2018-2023 (**Exhibit 1**) as a component of the Comprehensive Plan.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said Plan as a component of the Village Comprehensive Plan.

**Adopted this 14<sup>th</sup> day of January 2019.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
James W. Bandura  
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# VILLAGE OF PLEASANT PRAIRIE PARK & OPEN SPACE PLAN



**AYRES**  
ASSOCIATES

2018-2023

# ACKNOWLEDGEMENTS

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# 1 INTRODUCTION

This plan has been prepared to guide the Village of Pleasant Prairie in developing and maintaining public parks and outdoor recreation facilities. It also serves as a tool to encourage participation in grant programs through the Department of Natural Resources and other agencies.

## 1.1 Executive Summary

Parks are gateways to healthy, prosperous and connected communities. The National Recreation and Park Association names “Three Pillars” by which a healthy park system can benefit a community:

- *Conservation* – Parks play an important role in the conservation of natural resources. These protected open spaces not only benefit the environment but also serve as an important indicator to potential outside investment in the community.
- *Health and Wellness* – Parks are essential in combating important health issues such as nutrition, hunger, obesity and physical inactivity.
- *Social Equity* – Universal access to public parks and recreation should be considered a right, not a privilege. A healthy park system will provide equal access throughout the community.

This Park and Open Space Plan sets forth Pleasant Prairie’s vision for the future growth and development of its outdoor recreation parks and facilities. The plan is intended to guide the community’s outdoor recreation facility development through the year 2023.

The existing park system in Pleasant Prairie includes 18 parks owned and maintained by the Village. Many of these parks are larger community parks containing facilities such as recreation centers, athletic fields and event areas. Other parks are smaller scale neighborhood parks with traditional recreational facilities such as playgrounds, sport courts and open-air shelters.

### 1.1.2 Village of Pleasant Prairie Parks & Recreation Mission Statement

To preserve, protect, maintain and enhance the Village’s natural, cultural, historical, parkland, and recreational opportunities for all residents, visitors and for current and future generations in a safe and secure setting. To connect all to the Village’s park and open space system, providing sustainable places to gather, celebrate, enjoy, contemplate, and engage in activities that promote health, well-being, and environmental preservation.

### 1.1.2 Statement of Need

The purpose of this project is to develop a Park and Open Space Plan for the Village of Pleasant Prairie, assess the vitality and needs of the current Village park system and provide direction for maintenance, growth and programming for the next five to ten years.

As a working tool, the plan will provide officials with a clear understanding of park land inventory and future recreational facility and open space needs. The plan also creates an orderly and prioritized strategy for making incremental improvements. The plan will allow the Village to request DNR and other public funding for implementing proposed park improvements.

## 1.2 Goals and Objectives

The following section identifies goals and objectives to guide the future development or expansion of parks and recreational facilities in Pleasant Prairie.

### **Goal 1.2.1: Establish and maintain high quality parks and recreational services.**

#### Objectives:

- a. Ensure the number of parks and recreational facilities is reflective of community population needs.
- b. Upgrade and improve existing parks and facilities.
  - i. Develop bi-annual inspections and inventory of existing park facilities to maintain an active log of facility improvements.
  - ii. Continue funding the replacement of old and deteriorating equipment in all Village parks to ensure the health, safety and welfare of visitors.
- c. Pursue funding for park and recreation development and land acquisition.
- d. Pursue the development of revenue generating recreational facilities and activities, which can aid in the development of new facilities and/or the maintenance of existing facilities.

### **Goal 1.2.2: Provide residents with safe and reliable recreation equipment throughout the community park system.**

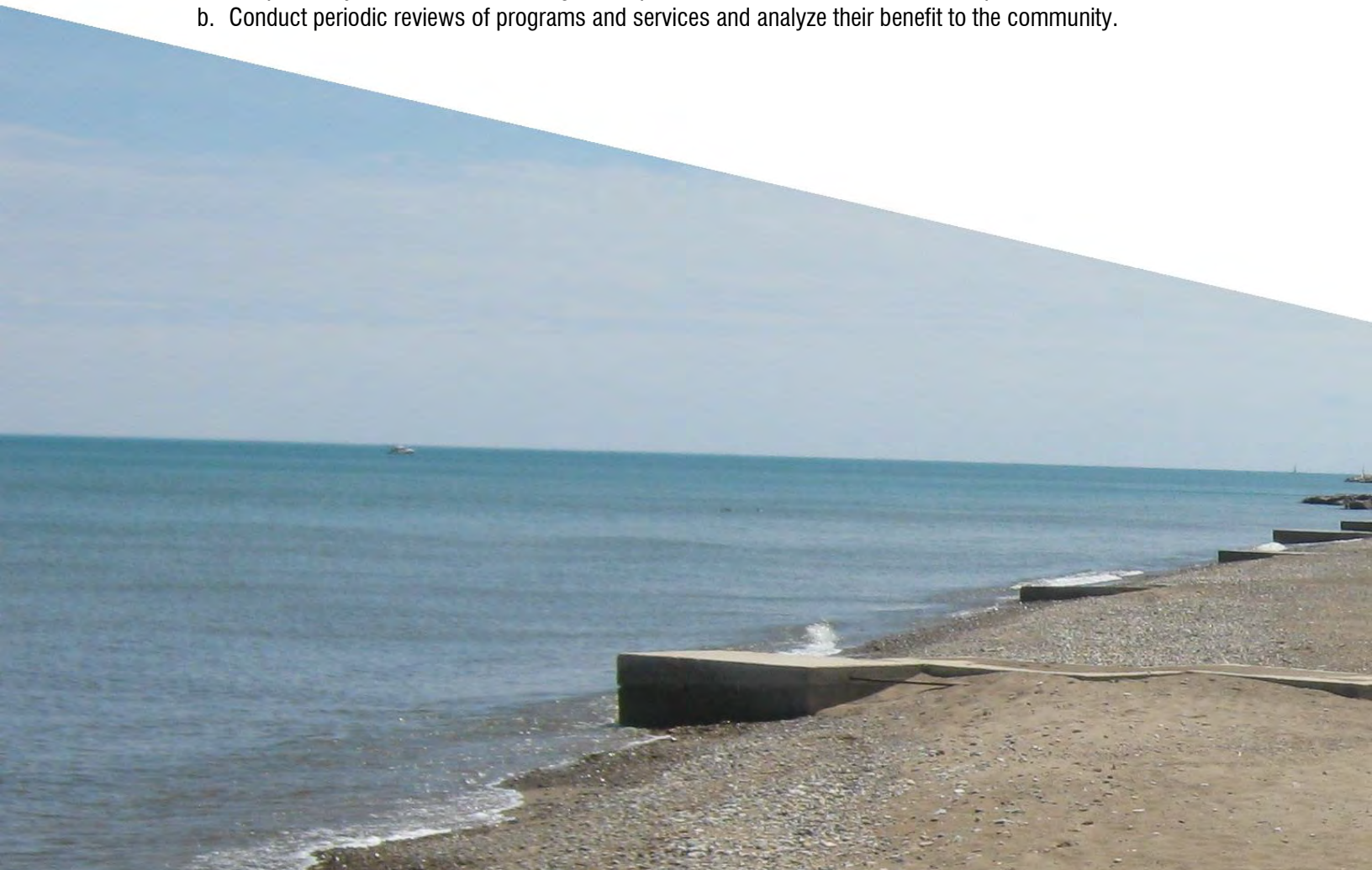
#### Objectives:

- a. Accurately inventory existing parks facilities and maintain an active log of facility improvements.
- b. Continue funding the replacement of old and deteriorating recreation equipment in all area parks.
- c. Continually monitor and maintain existing park equipment to ensure its longevity and safety.

### **Goal 1.2.3: Offer recreational services in an efficient, effective and economical manner.**

#### Objectives:

- a. Cooperatively work with surrounding municipalities, the school district and other partners.
- b. Conduct periodic reviews of programs and services and analyze their benefit to the community.



**Goal 1.2.4: Evaluate and analyze park, open space and recreational services based on the needs of the community.**Objectives:

- a. Encourage citizen involvement with the development of the plan.
- b. Survey community to determine changing needs.

**Goal 1.2.5: Promote bicycle and pedestrian facilities throughout Pleasant Prairie.**Objectives:

- a. Improve local route connectivity throughout the area to parks, conservancies, schools, future downtown, local businesses and regional trails.
- b. Improve/establish wayfinding signage to allow new residents or visitors to effectively travel throughout the Village on foot or bicycle.
- c. Increase the availability and accessibility of bicycle parking.
- d. Study the feasibility of starting a bike share or similar rental program in the Village.
- e. Identify and coordinate improvements to walking trails within the Des Plaines River Conservancy Area and Chiwaukee Prairie.

**Goal 1.2.6: Ensure that the community's existing open spaces, recreational facilities and programs are designed to meet the special needs of all residents regardless of age, gender or ability.**Objectives:

- a. Prepare a site Master Plan prior to improvement and/or development of any public park to assure the highest and best use of existing resources.
- b. Provide for barrier-free access in all new park facility construction and play areas.
- c. Achieve compliance with accessibility requirements in existing facilities by 2023.
- d. Encourage participation and accommodation of all interested participants at Park Commission meetings and in recreational programs.
- e. Comply with the Americans with Disabilities Act as it applies to communication with the public. This is in reference to the standard language that government agencies should use on their agendas and other public meeting documents stating accommodation of those with disabilities who wish to attend the meeting.

**Goal 1.2.7: Promote water recreation throughout the community.**Objectives:

- a. Improve visibility and awareness of water recreational opportunities at Prairie Springs Park, Lake Michigan Park and Ingram Park.
- b. Promote and maintain beaches, canoe/kayak launches and fishing areas.
- c. Continue to support community events that support water activity.



**Goal 1.2.8: Coordinate subdivision review with all departments responsible for providing or maintaining adequate park facilities.**

Objectives:

- a. Consult and incorporate the needs identified in the Park and Open Space Plan before subdivision plats and commercial developments are approved.
- b. Evaluate land dedicated for parks to differentiate between land appropriate for active park use, land appropriate for open space only and land requiring protection from development. Land requiring protection from development should be protected via development codes.
- c. Continually evaluate and update local zoning, land division and development control ordinances so that they adequately address the recreational needs of residents.
- d. Preserve any proposed trail corridors in any review of new development.

**Goal 1.2.9: Stress the benefits of larger neighborhood and community parks that provide a wide range of facilities over small playground and tot-lot facilities.**

Objectives:

- a. Analyze the location, size and function of existing and proposed parks as annexations, residential development or land use changes occur.
- b. Communicate the importance of dynamic, multi-purpose parks and recreational facilities as a component of Pleasant Prairie's regional draw and economic development potential.
- c. Use Park Service Area Criteria to help determine the location of future park sites (see Chapter 2).

**Goal 1.2.10: Recognize the importance of an adequate park budget, which can financially address existing park hazards and allow for future parkland acquisition and facility development.**

Objectives:

- a. Use the Park and Open Space Plan as a guide to establish yearly park budgets and funding for the Pleasant Prairie park system.
- b. Invest funds for the development of facilities that will maximize existing park and recreation areas. Provide recreational programs with the intention of increasing park prominence, community visibility and use.

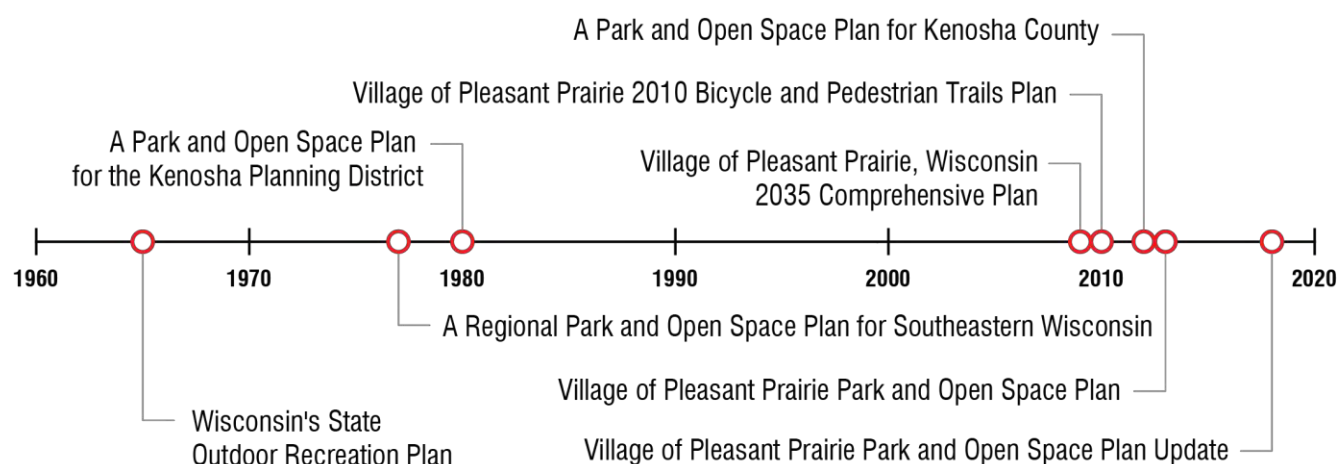
**Goal 1.2.11: Use all available resources to further enhance the quality of the Village's park system.**

Objectives:

- a. Continually pursue state and federal funding programs, which can aid in the purchase and/or development of desired park system improvements.
- b. Nurture positive relationships with public and private organizations for donations and volunteer-help to aid in park system development.
- c. Update the Park and Open Space Plan every five years to maintain grant eligibility.
- d. Pursue the development of revenue generating recreational facilities and activities, which can aid in the development of new facilities and/or the maintenance of existing facilities.



## 1.3 Review of Past Planning Documents (Local, Regional & State)



### 1.3.1 Village of Pleasant Prairie Park and Open Space Plan (2013)

The 2013 Village of Pleasant Prairie Park & Open Space Plan was an update to a previous version of the plan written in 2006. The primary purpose of the plan was “to proactively plan for the Village’s future park and recreation needs” and to “guide the acquisition, preservation and development of land for parks, recreation trails and other open spaces in the Village to meet the needs of a growing and changing population.”

The plan was organized by the following Chapters:

- Chapter 1: Introduction
- Chapter 2: Background Information
- Chapter 3: Goals, Objectives and Standards
- Chapter 4: Existing Park and Recreational Facilities
- Chapter 5: Public Participation and Planning Process
- Chapter 6: Analysis of Existing Park and Recreational Facilities
- Chapter 7: Policy Recommendations and Programs Implementation
- Chapter 8: Recommended Park, Open Space and Trail Conceptual Plans, Proposed Improvements and Future Park and Open Space Areas

Some recommendations of the plan that have been implemented since its adoption include:

- The construction of a 300-car, Park and Ride commuter parking lot at Prairie Springs Park
- Development at Ingram Park including a dog park, parking lot, playground and fishing pier
- Basketball and tennis courts at Pleasant Prairie Park
- A parking lot, asphalt path, basketball court and tennis courts at Village Green Park

The plan also made recommendations for policy and programming regarding parks and outdoor recreation. These policy and programming recommendations were based on five objectives described below:

- The identification and acquisition of land for outdoor recreation sites and open spaces in the Village
- Use marketing information to educate the community about park and recreation opportunities in the Village
- Preserve natural, cultural and archaeological resources in the Village
- Provide off-street and on-street bike and walking trails
- Maintain and provide upgrades to the Village’s existing parks and facilities

### **1.3.2 A Park and Open Space Plan for Kenosha County (2012)**

The Park and Open Space Plan for Kenosha County was originally adopted by the Kenosha County Board of Supervisors on October 18, 1988. The plan has been periodically updated since then with the latest version having been drafted in 2012.

The objectives of the plan are established in Chapter 4 of the plan and listed below:

- To provide an integrated system of public general use outdoor recreation sites and related open space areas which will allow the resident population of the County adequate opportunity to participate in a wide range of outdoor recreation activities.
- To provide sufficient outdoor recreation facilities to allow the resident population of the County adequate opportunity to participate in intensive resource-oriented outdoor recreation activities.
- To provide sufficient outdoor recreation facilities to allow the resident population of the County adequate opportunity to participate in intensive non-resource oriented outdoor recreation activities.
- To provide sufficient outdoor recreation facilities to allow the resident population of the County adequate opportunity to participate in extensive land-based outdoor recreation activities.
- To provide sufficient access areas to allow the resident population of the County adequate opportunities to participate in extensive water-based outdoor recreation activities on the major inland lakes, rivers and Lake Michigan which are consistent with enjoyable surface water use and the maintenance of adequate water quality.
- To preserve sufficient high-quality open-space lands for protection of the underlying and sustaining natural resource base and enhancement of the social and economic well-being and environmental quality of the County.
- To provide for the efficient and economical satisfaction of outdoor recreation and related open space needs meeting all other objectives at the lowest possible cost.

Some recommendations of the plan pertaining to the Village of Pleasant Prairie include:

- Protection of natural areas and critical species habitat on 41 acres of public and privately-owned land in Pleasant Prairie
- Development of trails in the Des Plaines River Conservancy corridor
- Canoe/kayak access along the Des Plaines River and development of the River as part of a water trail system
- Reference to local park and open space plans for park specific recommendations

### **1.3.3 Village of Pleasant Prairie 2010 Bicycle and Pedestrian Trails Plan (2010)**

The stated goal of the Village's 2010 Bicycle and Pedestrian Trails Plan was to "Establish and maintain a safe, comprehensive and integrated bicycle and pedestrian trail network that encourages the use of bicycles and walking for commuting, recreation and other trips." The plan was organized into eight chapters with sections focusing on topics such as the importance of bicycling and walking, design standards and recommendations for improvements. The plan called for the development of off-street paths, on-street bike lanes and sidewalks that would increase the Village's bicycle and pedestrian network from 10 miles to 98 miles. The routes were developed based on the results of public participation, future development plans and the assessment of existing roadways. The goal of the proposed network was to provide coverage through the community, to establish routes to popular destinations and to create connectivity with neighboring communities. Several of the recommendations of the plan were implemented including the establishment of bike lanes on Old Green Bay Road, Prairie Ridge Boulevard and 88<sup>th</sup> Avenue as well as an off-road trail north of Prairie Springs Park. This plan should be updated as part of the Village Transportation Plan.

### **1.3.4 Pleasant Prairie Shoreline Assessment (2018)**

A shoreline assessment was performed in the Village in 2018 to evaluate the condition of shoreline protection structures on Lake Michigan. The condition of structures was evaluated by parcel and given a condition level of "Good", "Fair" or "Poor". "Good" structures were those in near perfect condition and functioning as designed. "Poor" structures were those with major structural damage and no longer functioning as designed. Observations were recorded for each parcel noting any unique or important circumstances that might exist related to shoreline protection. This report should be consulted before the construction of any improvements in shoreline parks recommended in this CORP.





### 1.3.5 Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan (2009)

The Pleasant Prairie Comprehensive Plan is intended as a long-range guide for the future development and natural resource protection of the Village through the year 2035. The plan establishes the Village's planning goals and serves as a reference to aid in decisions made by Village staff and officials. This Park and Open Space Plan is intended as a component of the Comprehensive Plan. The Comprehensive Plan is scheduled to be updated in 2020-2021 to the design year of 2050.

The plan focuses on nine elements required by Wisconsin statute including:

- Issues and Opportunities
- Housing
- Transportation
- Utilities and Community Facilities
- Agricultural, Natural and Cultural Resources
- Economic Development
- Intergovernmental Cooperation
- Land Use
- Implementation

The Agricultural, Natural and Cultural Resources element contains an inventory of State, County, Village and private parks and open spaces in Pleasant Prairie as well as recommendations for the improvement of the overall park system.

Some recommendations of the plan regarding parks and open space include:

- Implement the recommendations of the Village of Pleasant Prairie Park and Open Space Plan and the Village of Pleasant Prairie Bicycle and Pedestrian Plan as components of the Comprehensive Plan
- Ensure adequate areas are identified on the Village's 2035 Land Use Map as park and recreation lands to meet the future needs of the Village
- Provide an integrated system of public parks, trails and open spaces that will allow residents to participate in a wide range of outdoor recreation activities
- Encourage the protection of high-quality open space lands

- Apply for Wisconsin Department of Natural Resources (WDNR) Stewardship funds, WCMP grants and other State and federal funding

### 1.3.6 Prairie Springs Park Natural Area - Des Plaines River Planning Report (2007)

This plan was prepared for the Village to provide an assessment of the natural plant communities within the Prairie Spring Park Natural area. A summary of plant types, research opportunities and recommendations for best management practices were included in the report.

Recommendations of the plan included:

- Woody vegetation removal
- Prescribed burns
- Reed canary grass control
- Native seed collecting and spreading
- Common reed grass control
- Invasive species monitoring and control

A copy of this plan can be found in **Appendix E**.

### 1.3.7 A Park and Open Space Plan for the Kenosha Planning District (1980)

This plan, adopted in 1980, was the first Park and Open Space Plan for the City of Kenosha, the Town of Pleasant Prairie and the Town of Somers. The primary recommendations of the plan included the acquisition and development of new parks, the construction of new facilities in existing parks and protection of important open space areas in the region.

### 1.3.8 A Regional Park and Open Space Plan for Southeastern Wisconsin: 2000 (1977)

On December 1, 1977, SEWRPC adopted a regional park and open space plan for Southeastern Wisconsin consisting of two basic elements: an open space preservation element and an outdoor recreation element. The open space preservation element consists of recommendations for the preservation of primary environmental corridors within the Region. The outdoor recreation element consists of: 1) a resource-oriented outdoor recreation plan providing recommendations for the number and location of large parks, recreation corridors to accommodate trail-oriented activities, and water-access facilities to enable the recreational use of rivers, inland lakes, and Lake Michigan; and 2) an urban, outdoor recreation plan providing recommendations for the number and distribution of local parks and outdoor recreational facilities required in urban areas of the Region. The initial regional park and open space plan is documented in SEWRPC Planning Report No. 27, A Regional Park and Open Space Plan for Southeastern Wisconsin: 2000, November 1977.

SEWRPC assists each of the counties in the Region in preparing county-level park and open space plans. These plans refine, detail, and extend the regional park and open space plan. Upon adoption by the Commission, the county plans serve as amendments to the regional park and open space plan.

### 1.3.9 Wisconsin's State Outdoor Recreation Plan

Since 1965, the State has developed and maintained the Statewide Comprehensive Outdoor Recreation Plan (SCORP) in an attempt to classify, measure and ultimately provide for the preferences and needs of a statewide recreating public.

Goals include the following:

1. Improve integration of outdoor recreation interests and needs in land use and other relevant planning efforts.
2. Continue to provide and enhance access to Wisconsin recreational land and waters.
3. Promote outdoor recreation as a means of improving public health among Wisconsinites.
4. Establish great urban parks and community green spaces.





To preserve, protect, maintain and enhance the Village's natural, cultural, historical, parkland, and recreational opportunities for all residents, visitors and for current and future generations in a safe and secure setting. To connect all to the Village's park and open space system, providing sustainable places to gather, celebrate, enjoy, contemplate, and engage in activities that promote health, well-being, and environmental preservation.

*Pleasant Prairie Parks & Recreation Mission Statement*



## 1.4 Summary of the Planning Process

### 1.4.1 Work Plan and Timeline

This plan was developed between February and July 2018. The process included correspondence and meetings with Village staff, public outreach and a presentation to the Village Board. All parks were audited by Ayres staff with findings identified on inventory sheets.

### 1.4.2 Meetings

Meeting #1 – Public Information Meeting – April 2018: A public information meeting was held on April 25<sup>th</sup> to present the proposed content and format of the plan and to gather public input on the future Pleasant Prairie parks. Comments regarding the hopes and concerns of meeting attendees was documented and referenced in the preparation of this plan. This list of comments is shown below.

List of comments from the Public Information Meeting:

- Better communication-Park Plan-Timeline
- No park improvements – If taxes increase
- Change Lake Michigan Park plan! Keep it natural!
- Keep taxes low
- Review Carol Beach survey
- No improvements Carol Beach area
- Self-sustaining prairies
- Natural land and communication
- Police at Village parks
- No improvements before plan approval
- Keep Lake Michigan Park natural
- Why is plan being developed?
- Green Bay Rd bike trail – East-west connection
- Signs uniform
- Pickleball
- More porta-potties and garbage cans
- Carol Beach – Neighborhood beach (Not public)
- Change parking – CB (parallel)
- Town club – Keep natural
- Square park – Parking
- Utilization of current parks
- Cost to maintain new (proposed) parks
- Put posts all along beach park – no parking
- Restore native plants create dunes
- 116<sup>th</sup> and Sheridan bike crossing
- No bike path north of 85<sup>th</sup> St into dunes (too fragile!)

Field Work – May 2018: All sites were audited by Ayres staff and issues photo documented.

October 22, 2018: Notice sent to Kenosha news

Meeting #2 November 2018: Park Commission presentation

Meeting #3 - November 26, 2018: Plan Commission presentation. Plan Commission to amend the 2035 Comprehensive Plan with the park plan.

December 10, 2018: Plan submitted to the Village

December 14, 2018: Public notice

January 14, 2019: Plan Commission meeting

January 21, 2019: Village Board final review and approval

#### **1.4.3 Online Survey**

During the development of this plan, an online survey was created to record public opinion concerning key issues and opportunities for enhanced use and enjoyment of parks in Pleasant Prairie. The survey was used to formulate recommendations in Chapter 3. The survey went live on April 22, 2018, and a web link was made available during the public meeting and posted on the Village website. The survey was closed for tabulation of results on June 6, 2018. A total of 101 individuals responded to the survey, 89% of whom were Village of Pleasant Prairie residents.

General findings of the survey are summarized on the following pages:

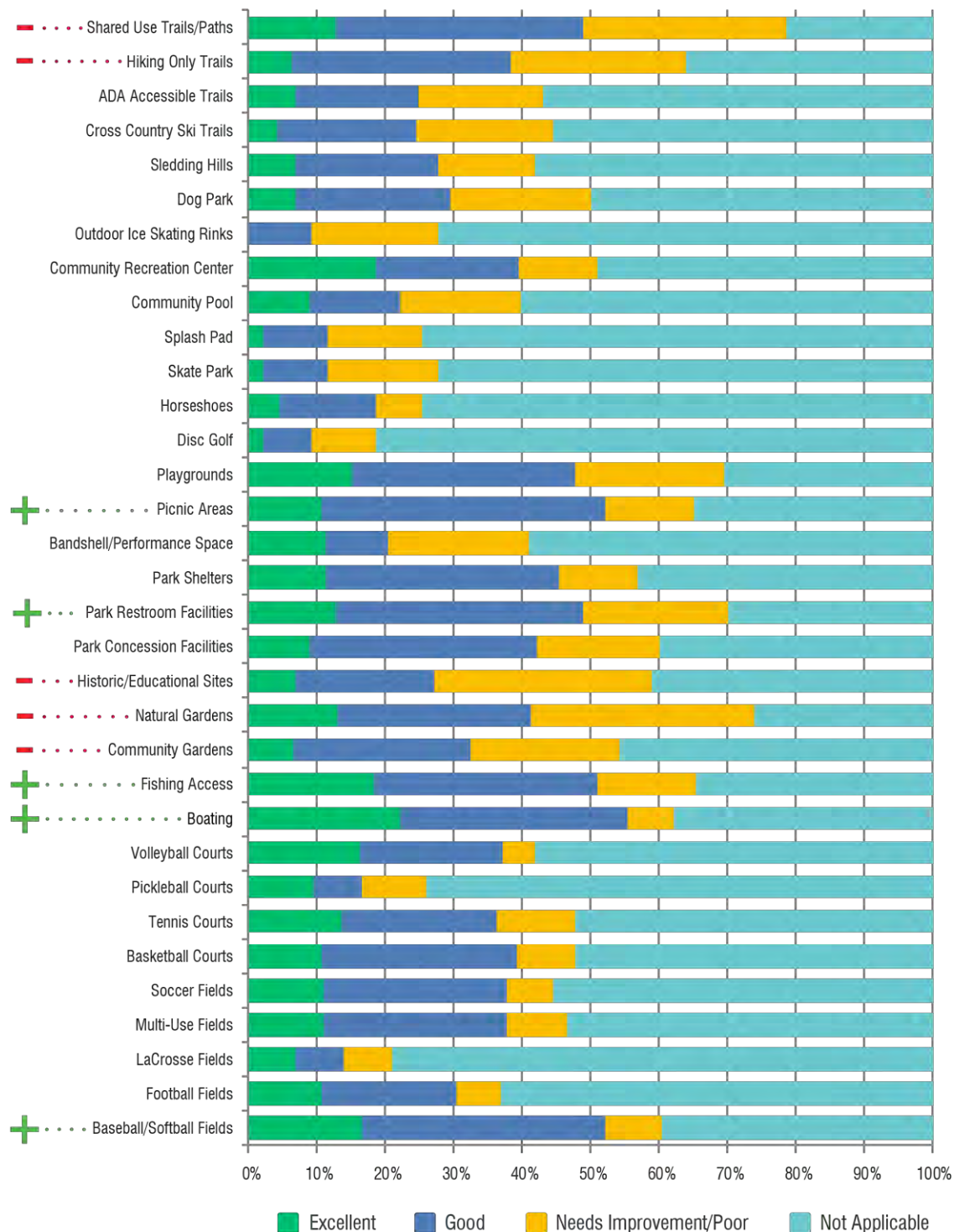
The overall findings of the survey revealed general satisfaction with the Pleasant Prairie park system. Some of the key potential areas of improvement reflected in the survey results include:

- A need for more park facilities for seniors
- More hiking/biking trails
- More community and natural gardens
- Safe route to walk and bike to parks and facilities
- A desire to return Lake Michigan to its natural dunescape condition

Summaries of the results of the survey are on the following pages.

- Survey participants were asked to rate the overall condition of recreational facilities in Village parks. Items like baseball fields, boat launches, fishing access, picnic areas and park restroom facilities were the most common facilities rated “good” or “excellent” by respondents. Facilities that were most commonly rated “need improvement” included natural gardens, historic/educational sites, trails and community gardens. See **Chart 1** for complete results.

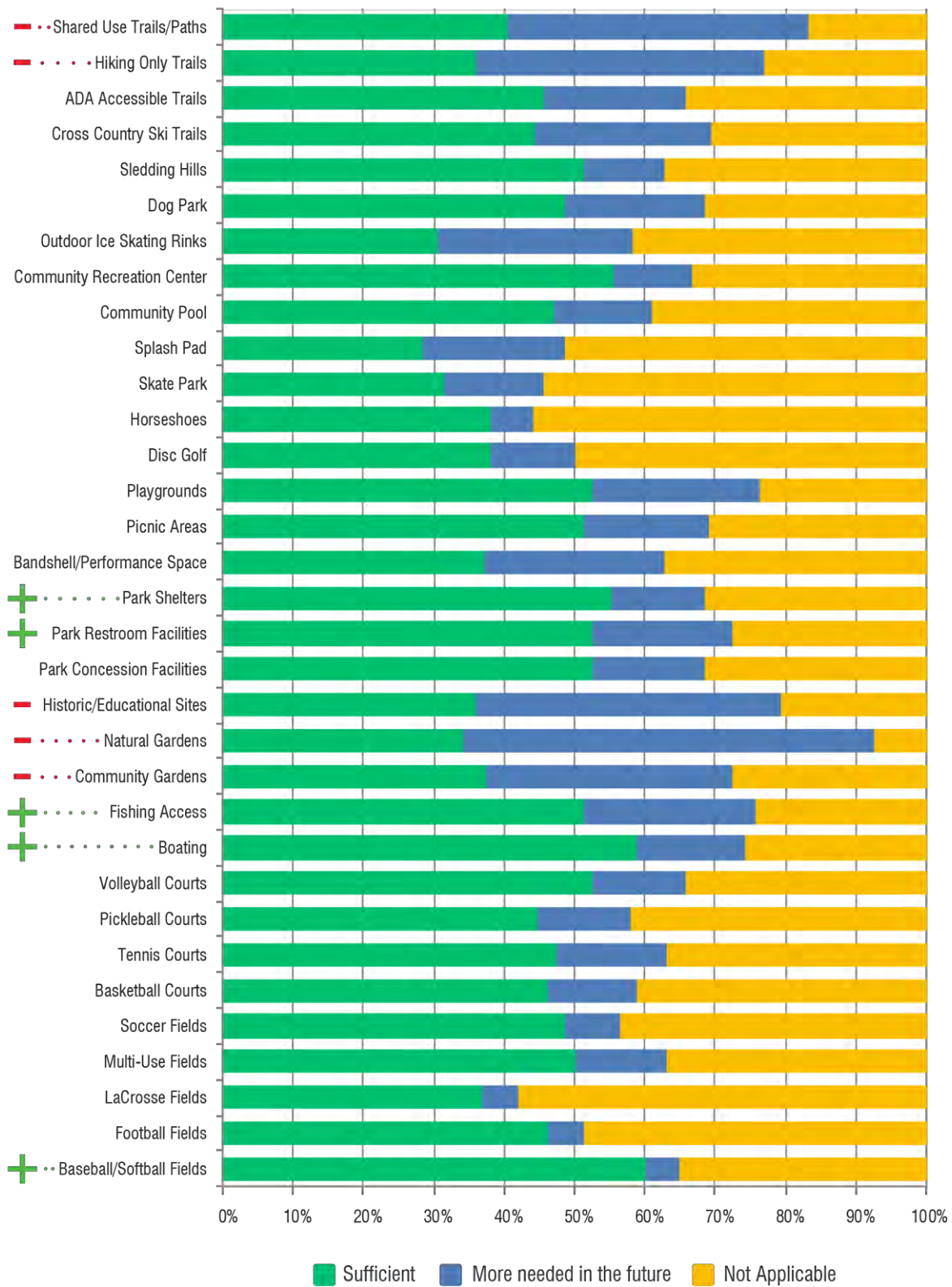
**Chart 1** – Please indicate the overall condition of each type of recreational facility that your community offers.





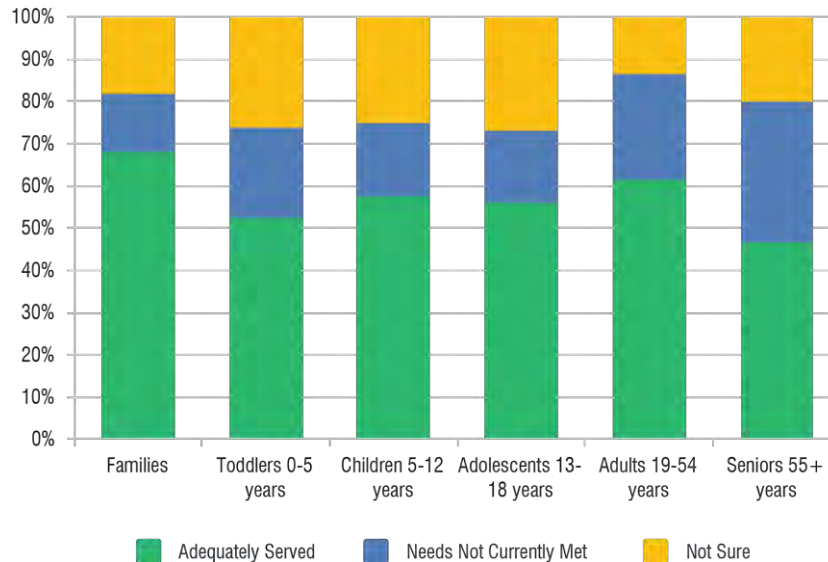
- Survey participants were asked if the quantity of any facilities/amenities in Pleasant Prairie did not meet the demands of the community. The most frequently chosen facility that did not meet the demands of the community was natural gardens followed by trails, historic/educational sites and community gardens.

**Chart 2** – Please indicate whether Pleasant Prairie has sufficient quantities for each type to meet demand.



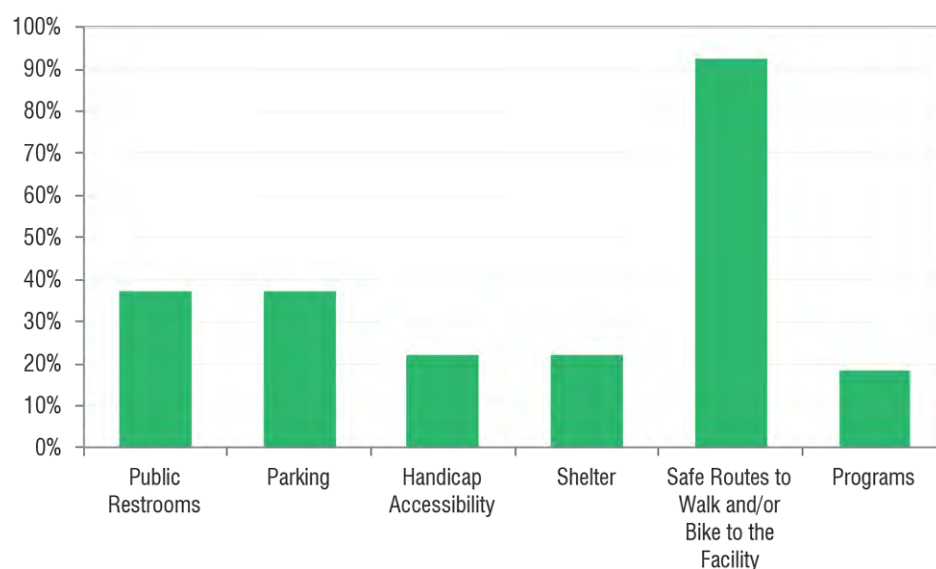
- Survey participants were asked if the needs of any age group were not met by the existing facilities in Pleasant Prairie parks. Seniors (age 55+) were the age group the most people (33.3%) felt were not adequately served by park facilities. See **Chart 3**.

**Chart 3** - Considering the various age groups of people in the Pleasant Prairie area, please indicate whether the existing facilities adequately meet their needs.



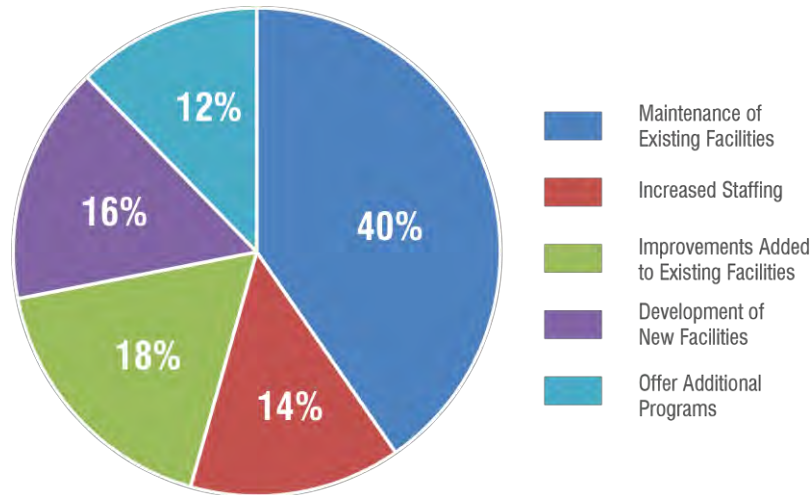
- Support components are accessory structures and facilities necessary for park use. These include public restrooms, parking lots, handicap accessibility, shelters, safe routes to facilities and programming. When asked if any of these facilities needed improvement in Pleasant Prairie, “Safe Routes to Walk and/or Bike to the Facility” received a significantly higher percentage of selections than any other choice. 92.6% of responses indicated that facilities supporting “Safe Routes to Walk and/or Bike to the Facility” needed improvement. See **Chart 4** for survey results.

**Chart 4** – Please indicate which, if any, of the following support components at existing park facilities need improvement. Select all that apply.



- Survey participants were asked to rank five types of general park improvements in order from most to least important. Forty percent of respondents felt “Maintenance of Existing Facilities” was the most important type of improvement. This was followed by “Improvements Added to Existing Facilities (18%), “Development of New Facilities” (16%), “Increased Staffing” (14%) and “Offering Additional Programs” (12%).

**Chart 5 – Highest Priority Improvements**



Other questions:

- Survey participants were asked what specific facilities were desired but not provided in Pleasant Prairie. Generalized common responses included “Satisfaction with existing facilities/No new facilities needed,” “More hiking trails,” “More bicycle facilities” and “Preservation of the Carol Beach shore and natural area.”
- Survey participants were asked which outdoor recreation activities they expected to gain popularity over the next five years. The most common responses included bicycling, hiking, water recreation, natural areas and pickleball.
- Survey participants were asked if there were any specific facilities in Pleasant Prairie parks that need improvement. Most responses were regarding Lake Michigan Park (Prairie Shore Beach) and the desire to restore it to its natural dune and plant state. Survey respondents also expressed opposition to any new facilities in the park and the desire to increase police enforcement of park hours and rules.

## 1.5 Pleasant Prairie Demographics

### 1.5.1 Social Characteristics

This section presents social factors that are important to understanding the community and its recreation needs. Particularly important to planning for the adequate provision of parks and open spaces are population trends and projections over the planning period (5-10 years) and the age characteristics of potential park users.

#### Population Trends and Projections

There is a direct relationship between population and the need for parks and recreational space. Predicting how the population might grow in the future provides important information about the amount of new parkland and recreational facilities that will be needed to serve the new populations.

According to data provided by the U.S. Census Bureau, Pleasant Prairie has experienced fluctuating population growth rates over the last 50 years. The population increased 6% between 1970 and 1980 then decreased 5% between 1980 and



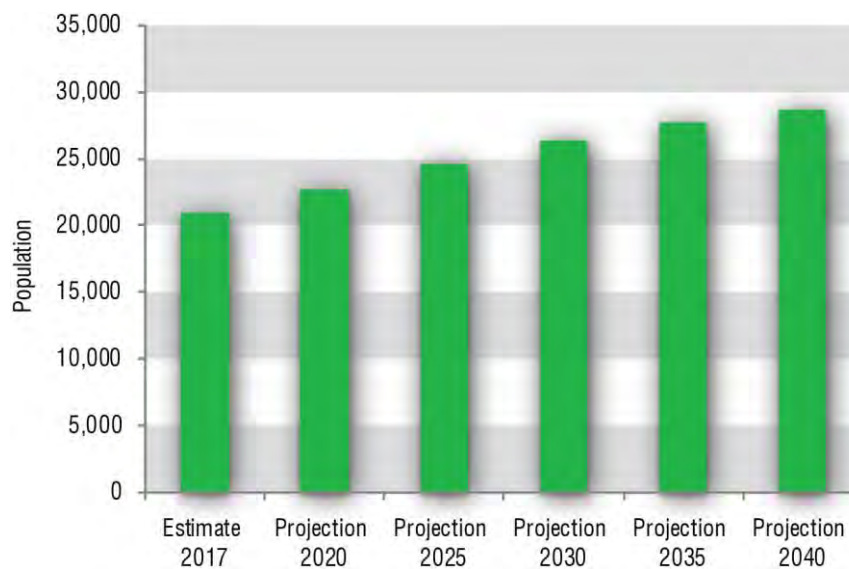
1990. The Village experienced high population growth between 1990 and 2000 as well as between 2000 and 2010 with growth rates of 34% and 22% respectively. Since 2010, population has increased 6% for a total of 20,936 residents. There was an overall population increase of 8,917 people (74%) from 1970 to 2017. The Wisconsin Department of Administration (DOA) projects that Pleasant Prairie will experience a 37% population growth between the years 2017 and 2040 resulting in an additional 7,764 residents. Population projection information for Pleasant Prairie and comparable communities is provided in Table 1.1. Current National Recreation and Park Association (NRPA) standards recommend a minimum of 10.5 acres of dedicated parkland per 1000 residents. Chapter 2 will discuss this standard as it applies to the current and future populations of Pleasant Prairie.

**Table 1.1: Population Projections for the Village of Pleasant Prairie and Comparables (2035)**

Name of Municipality	Estimate 2017	Projection 2020	Projection 2025	Projection 2030	Projection 2035	Projection 2040	Percentage Change 2017-2040
<b>V Pleasant Prairie</b>	<b>20,936</b>	<b>22,730</b>	<b>24,560</b>	<b>26,330</b>	<b>27,690</b>	<b>28,700</b>	<b>37%</b>
C Beaver Dam	16,845	17,340	18,090	18,740	18,990	18,900	12%
V Caledonia	24,820	25,970	26,780	27,460	27,910	27,900	12%
C Cudahy	18,186	18,510	18,450	18,460	18,820	18,940	4%
C Muskego	24,628	26,120	27,630	29,010	29,690	29,820	21%
C South Milwaukee	20,910	21,570	21,570	21,660	22,160	22,370	7%

Source: Wisconsin Department of Administration Estimates and Projections (2013, 2017)

**Chart 4: Village of Pleasant Prairie Population Projections (2017 – 2040)**



Source: Wisconsin Department of Administration Estimates and Projections (2013, 2017)

Note: The Wisconsin DOA estimate of population is shown for 2017. All other years show the predicted population based on Wisconsin DOA population projections made in 2013.

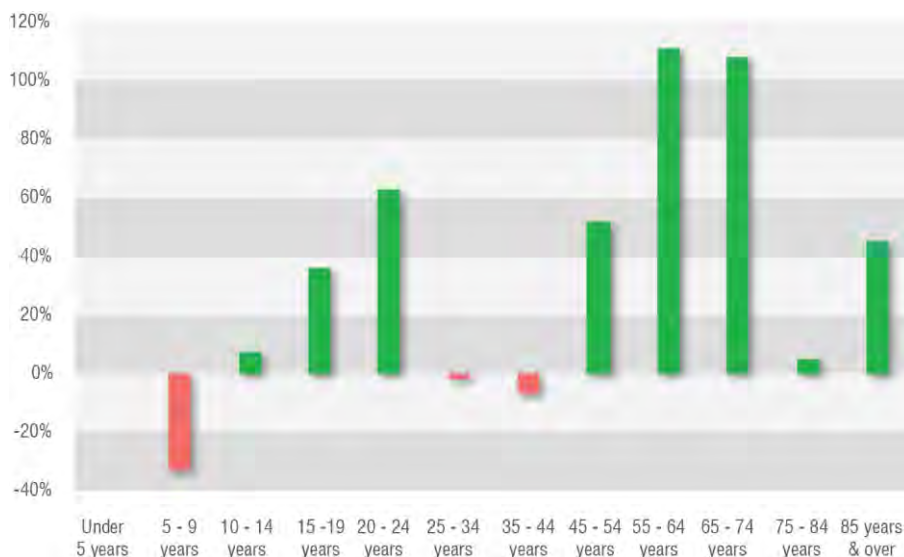
### Age

Age distribution in Pleasant Prairie is shown in Table 1.2. Age cohorts are an important consideration when determining park facilities because different age groups utilize different recreation facilities. For example, in 2016 there were an estimated 3,072 people between the ages of 55 and 64 (15.0% of the population). This represents an increase of 111% in the population of this age group from the year 2000. The number of park facilities designed for this age group should be reassessed as there are many more people in this age group in Pleasant Prairie using park facilities than there were in 2000. Facilities such as hiking trails, pickleball courts and park shelters are used by this age group and may be needed in higher quantities now than they had in the past.

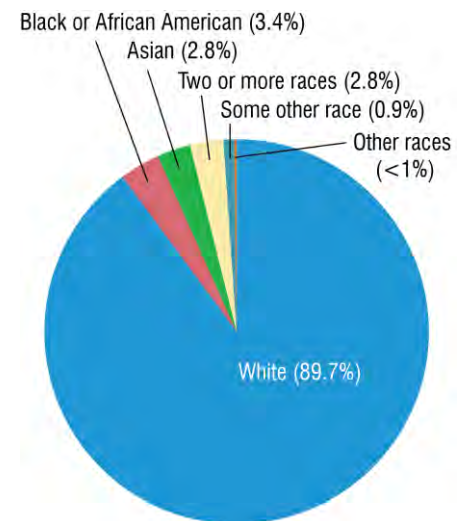
**Table 1.2: Age Distribution, 2000-2016**  
Pleasant Prairie, Wisconsin

	2000		2016		Percent Change 2000-2016
	Number	Percent	Number	Percent	
Under 5 years	1,002	6.2	1,000	4.9	0%
5 to 9 years	1,241	7.7	828	4.1	-33%
10 to 14 years	1,396	8.7	1,492	7.3	7%
15 to 19 years	1,106	6.9	1,501	7.4	36%
20 to 24 years	712	4.4	1,164	5.7	63%
25 to 34 years	2,010	12.5	1,967	9.6	-2%
35 to 44 years	3,042	18.9	2,821	13.8	-7%
45 to 54 years	2,457	15.2	3,724	18.2	52%
55 to 64 years	1,455	9.0	3,072	15.0	111%
65 to 74 years	897	5.6	1,870	9.1	108%
75 to 84 years	570	3.5	597	3.0	5%
85 years and over	248	1.5	359	1.8	45%
Total Population	<b>16,136</b>		<b>20,395</b>		<b>26%</b>

Source: 2000 Census (SF-1), 2016 ACS  
5 Year Estimate



**Population Change (2000 – 2016)**



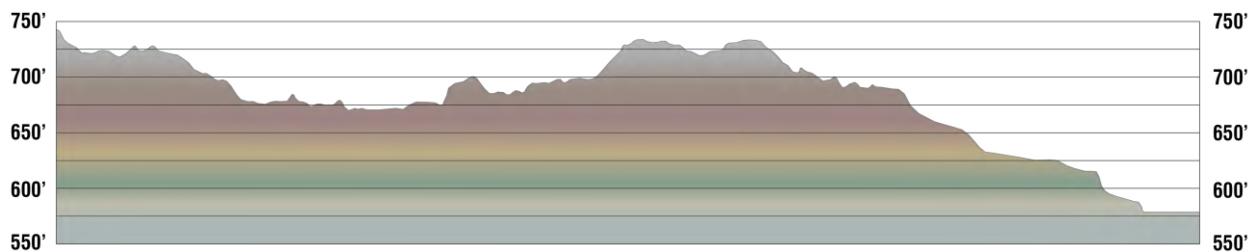
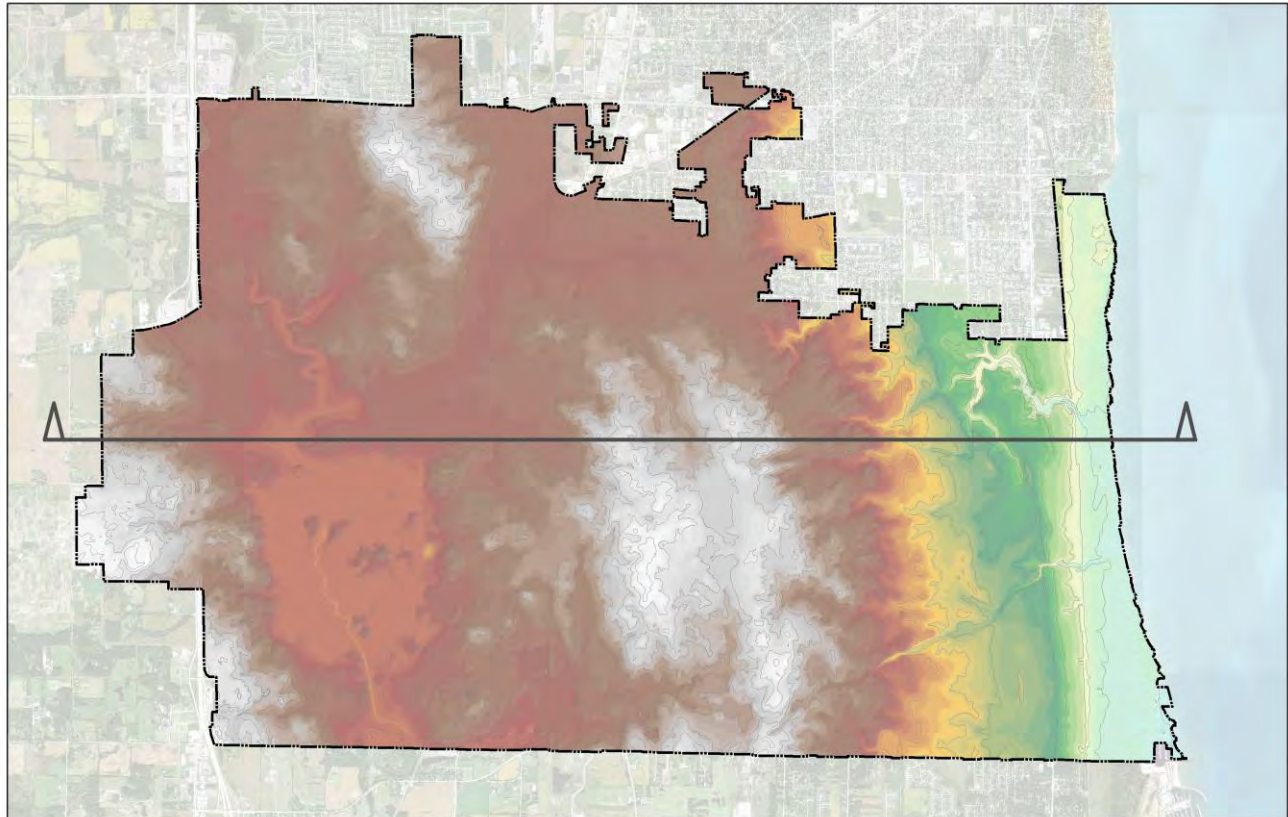
**Ethnic Background**

## 1.6 Physical Characteristics

The following section highlights some of the physical characteristics of Pleasant Prairie. This section can be useful in giving an overall impression of the area, determining suitability for certain improvements and identifying areas that should be conserved due to their unique natural features.

### Topography

The map below shows a color-coded elevation model of the Village ranging from lower elevations in blue to the highest elevations in white. See the cross section below the map for corresponding colors and elevations. Pleasant Prairie has an approximate elevation range of 580 feet above sea level at Lake Michigan to 750 feet above sea level on the far west side of the Village.

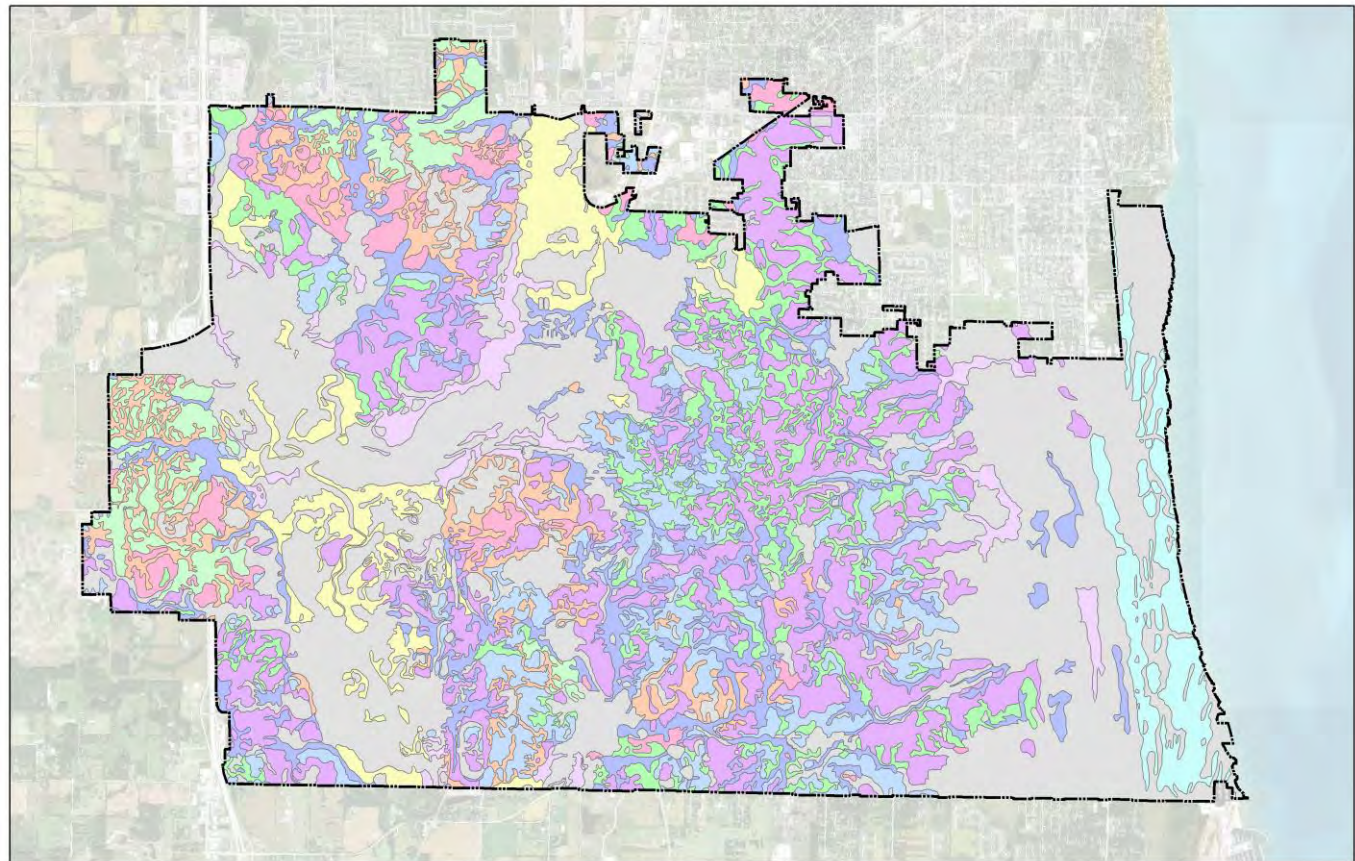


Data Source: USGS National Elevation Database

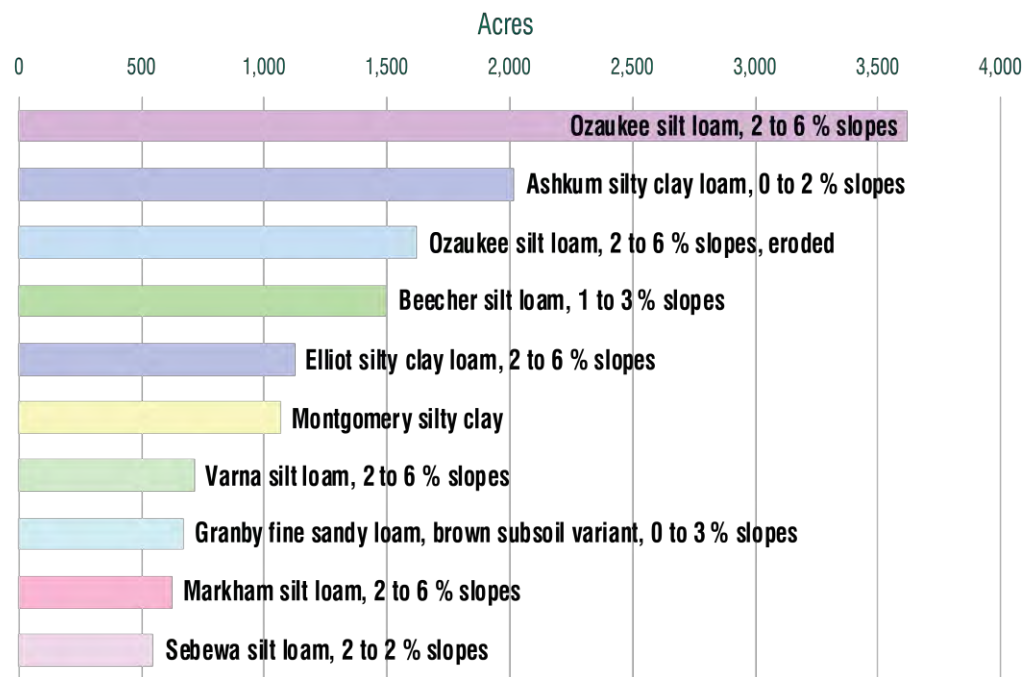


Soils

The most common soil type found in Pleasant Prairie is Ozaukee silt loam at 2 to 6% slopes. This soil type is found in over 3,500 acres in the Village followed by Ashkum silty clay loam (0 to 2% slopes) on 2,000 acres and Ozaukee silt loam (2 to 6% slopes, eroded) found on approximately 1,600 acres. Soils that occupy less than 500 acres in the village are not shown on the chart below and are shown as grey areas on the map.

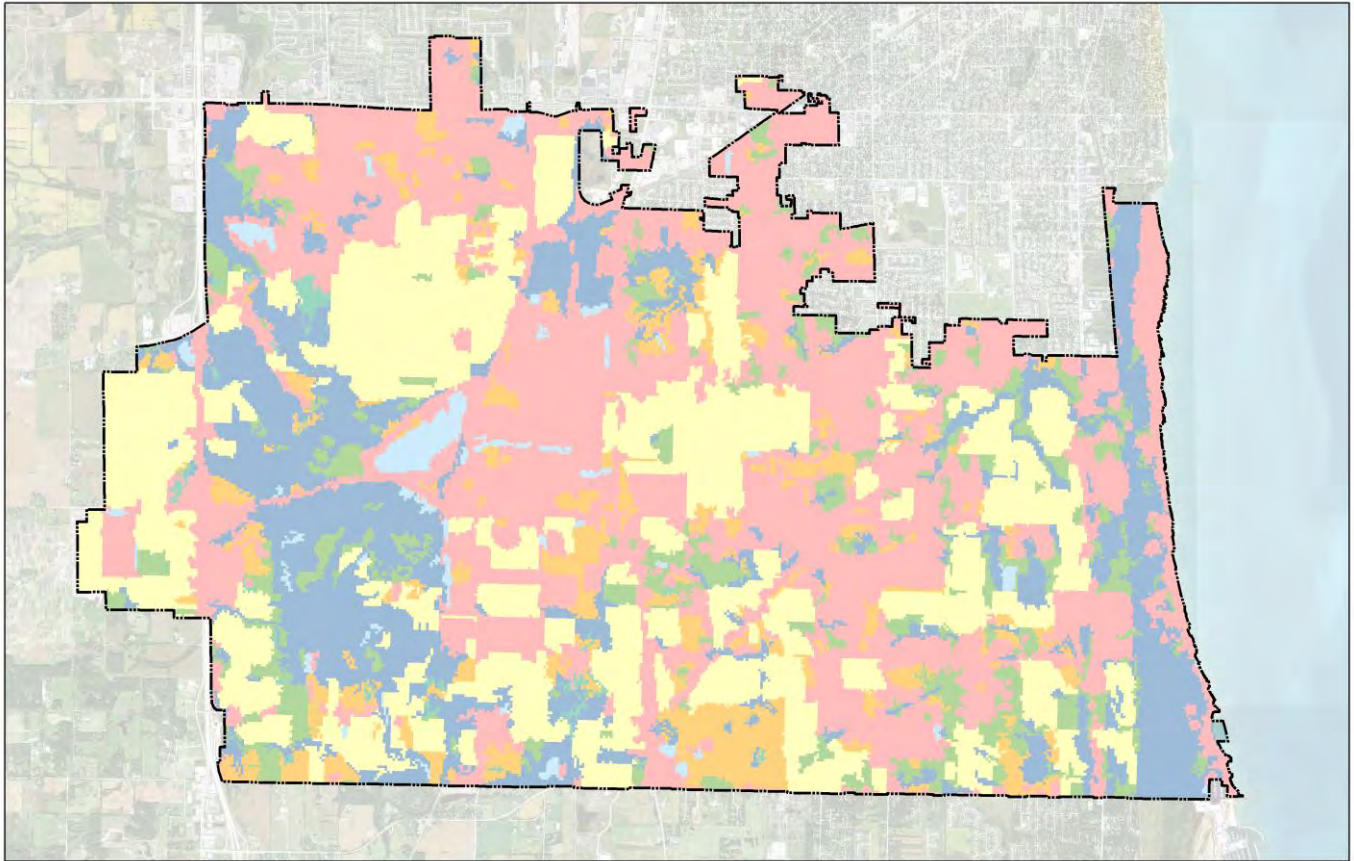


Data Source: USDA Soil Survey Geographic Database

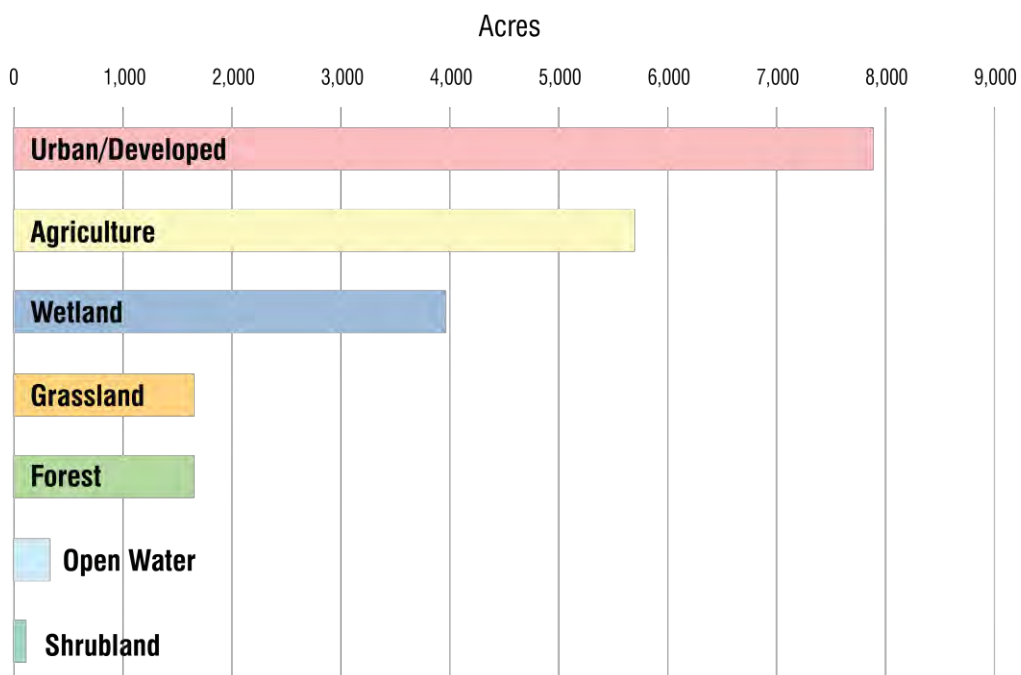


### Land Cover

Approximately 37% of the Village is classified as an “Urban/Developed”, making it the most common land cover type in the Village. “Agriculture” is the next most common land cover type at 27% coverage, followed by “Wetland” at 19% and “Grassland” at 8%.



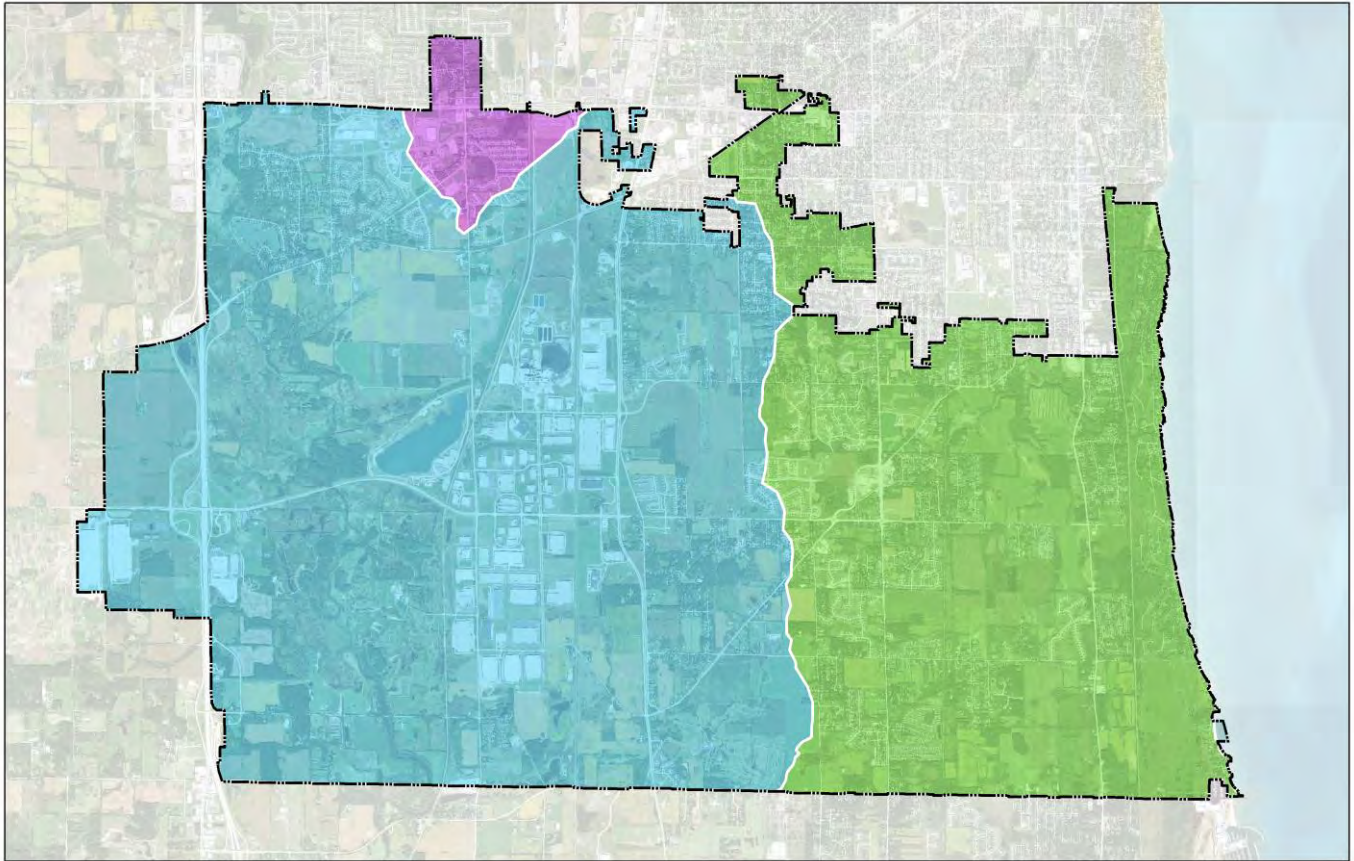
Data Source: Wisconsin Department of Natural Resources



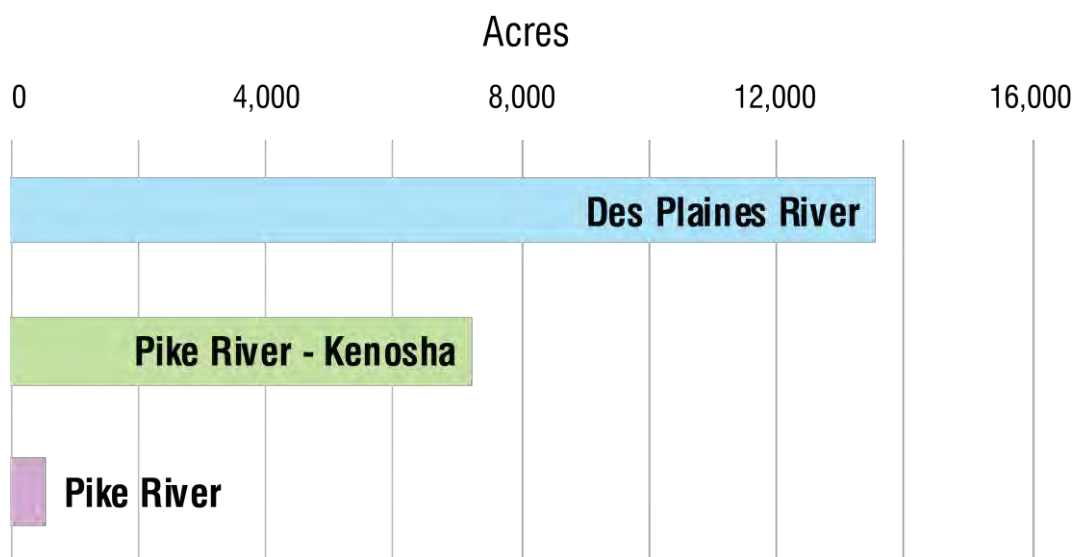


### Watersheds

Approximately two-thirds of Pleasant Prairie is in the Des Plaines River watershed and drains to the south and southwest. The sub-continental divide bisects the Village from north to south with the Des Plaines River watershed to the west and the Pike River – Kenosha watershed to the east. A small area in north Pleasant Prairie is in the Pike River watershed.

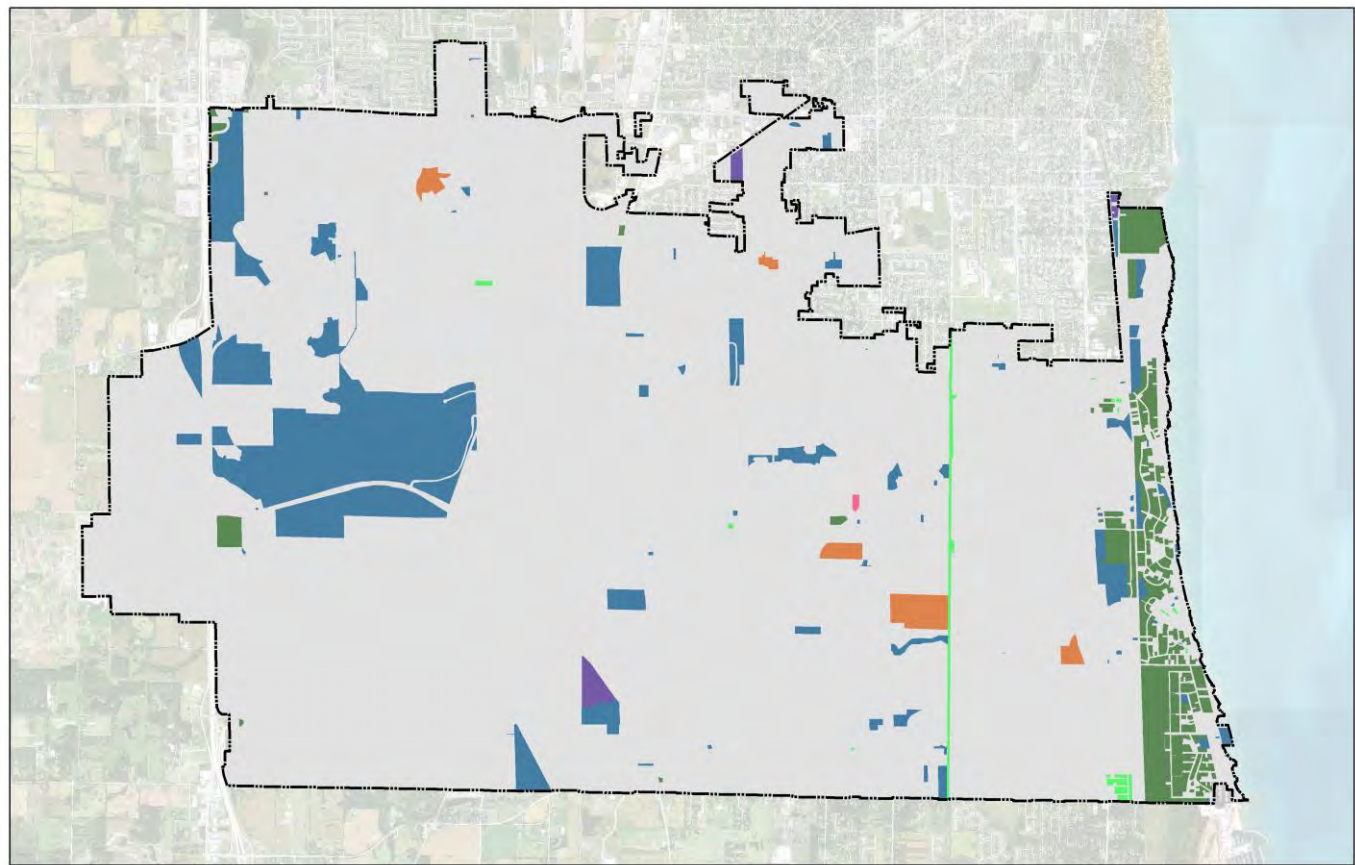


Data Source: Wisconsin Department of Natural Resources

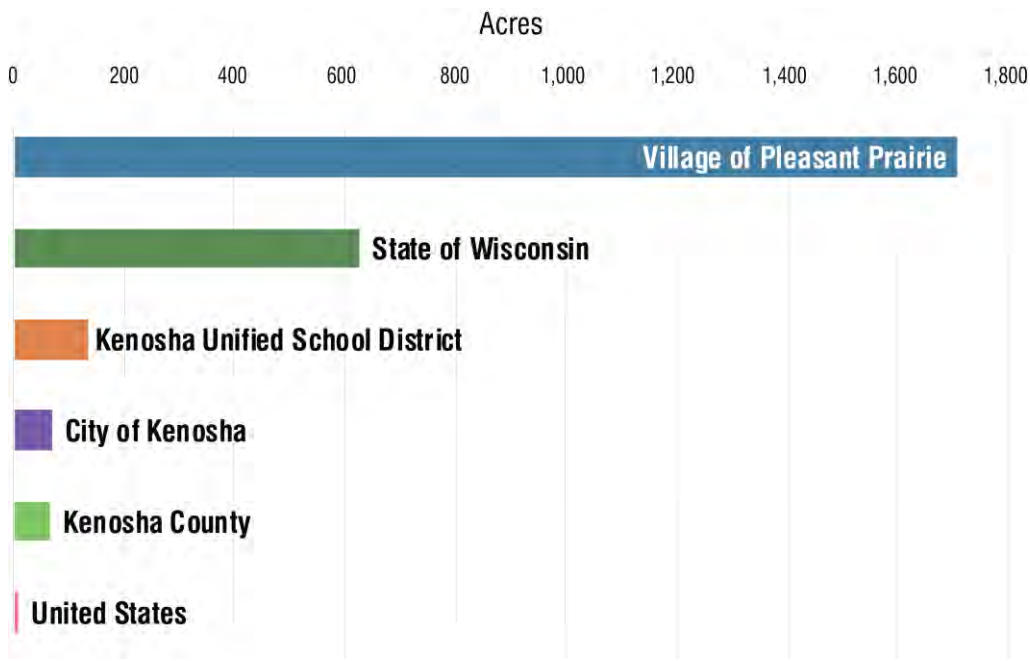


Major Property Owners

The Village of Pleasant Prairie owns the most land of any other property owner in the Village with 1,708 acres owned. The State of the Wisconsin owns 625 acres divided between its divisions such as the DNR, DOT and University of Wisconsin.



Data Source: State Cartographers Office









## 2 ANALYSIS OF THE VILLAGE OF PLEASANT PRAIRIE PARK AND OPEN SPACE SYSTEM

This chapter analyzes the existing park system in the Village of Pleasant Prairie. Parks are inventoried and classified based on standards established by the National Recreation and Park Association.

### 2.1 Village Park and Open Space Facilities

The information for this section was gathered from site visits conducted by Ayres Associates, discussion with Village staff and review of past planning documents. A Facility Matrix for the Pleasant Prairie park system is located in **Appendix A**. See **Appendix B** for a map of park locations.

#### 2.1.1 Mini Parks

Mini parks include specialized facilities that serve a concentrated population, limited population or specific group such as tots or senior citizens. Typical size is 1 acre or less but parks may be categorized as mini parks simply based on the type and quantity of facilities they offer. Complete park descriptions, inventories and recommendations for improvements for all parks can be found in Chapter 3.

- *Becker Park*
- *Creekside Park (South)*
- *Woodlawn (Harrison) Park*

#### 2.1.2 Neighborhood Parks

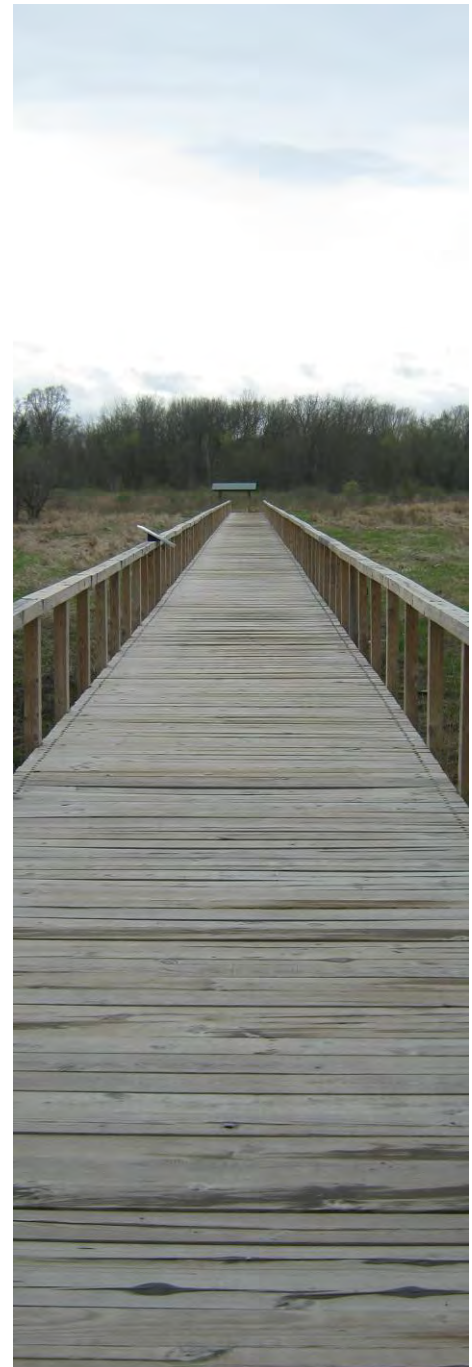
Neighborhood parks are areas for multiple and sometimes intensive recreational activities. Facilities may include athletic fields, sports courts, playgrounds, skate parks, trails, picnic areas and splashpads. Typical size is between 3 to 10 acres.

- *Carol Beach Park*
- *Rolling Meadows Park*

#### 2.1.3 Community Parks

Community parks are areas of diverse recreational activity and may include amenities such as athletic complexes, trails and large swimming pools. Community parks are typically 10 acres or larger but may vary depending on facilities offered.

- *Ingram Park*
- *Pleasant Prairie Park*
- *Village Green Park*



### 2.1.4 Regional Parks

A regional park is a larger park (over 200 acres) that serves several communities. Regional parks may include both active and passive uses and often contain unique facilities such as indoor athletic facilities, aquatic facilities and special event areas.

- *Prairie Springs Park*

### 2.1.5 Special-Use Parks

Special use parks are areas for specialized or single purpose recreational activities such as golf courses, campgrounds, nature centers and skate parks. They may also be used to designate areas that are primarily used as event space, general gathering areas, expanded trail corridors or plaza space.

- *Lake Michigan Park*

### 2.1.6 Conservancy, Open Space and Natural Areas

Conservancy parks and natural areas are established for protection and management of the natural or cultural environment with recreational facilities as a secondary objective. Open spaces are areas that currently offer no recreational facilities but have been reserved as future active or passive park lands.

- *Chiwaukee Prairie – Carol Beach Open Space*
- *Chiwaukee View*
- *County Corner – Tobin Creek Open Space*
- *Des Plaines River Open Space Land*
- *Edithton Beach*
- *Lakeshore Park*
- *Momper's Woods*
- *Prairie Trails West Open Space*
- *Sorensen Woods at Kildeer Farm*

### 2.1.7 School Parks

Although not maintained by the Village, school facilities offer community residents with outdoor recreation activities. School parks often contain structured play equipment, open space and athletic fields. This plan will not offer recommendations for improvements in these school parks as they are not owned by the Village, but they should be considered when analyzing facilities available to the community. The Kenosha Unified School District maintains the recreation areas of three schools in Pleasant Prairie with facilities open for public use.

- *Pleasant Prairie Elementary School*
- *Prairie Lane Elementary School*
- *Whittier Elementary School*

### 2.1.8 Trail Corridors

A linear park or trail corridor is an area designated for one or more modes of recreational travel such as hiking, biking, snowmobiling, etc. There are a number of trails in, and adjacent to Pleasant Prairie. See **Map 3** in **Appendix B** for existing trail locations.

The *Kenosha County Bike Trail* bisects Pleasant Prairie with 3.4 miles of asphalt, multi-use trail within the Village limits and connects to trails in neighboring communities to the north and south. The trail continues for 12 miles to the south into Illinois ending in North Chicago. This Illinois portion of the trail is called trail *Robert McClory Bike Path*. A short on-road connection to the north allows riders to connect to the Pike Bike Trail through Kenosha, eventually connecting with the northern portion of the *Kenosha County Bike Trail* into Racine.

*Prairie Springs Park Trails* include over 2 miles of multi-use trails and approximately 2 miles of natural surface hiking trails within the park. The multi-use trail is an 8-foot wide asphalt trail that encircles Lake Andrea. A new connection to the park trail, the *Prairie Farms Trail*, was completed in 2013 and gives access to neighborhoods to the north near Pleasant Prairie Park. The hiking trails are in the wooded area in the southwest portion of the park.

The *Prairie Farms Trail* was under construction at the time of writing of the last Park and Open Space Plan. This dual-purpose facility is intended as both a vehicle access road to Village utilities in the area and as a multi-use trail. The 8-foot wide, gravel trail extends from Prairie Spring Park to Wilmot Road near Pleasant Prairie Park. Plans for the trail include paving and a formal connection to Pleasant Prairie Park.

*Chiwaukee Prairie Trails* include four hiking trails within the Chiwaukee Prairie – Carol Beach Open Space. These primarily natural surface trails were developed on roadways that were platted as part of a subdivision in the area before the land had been designated as a conservancy. The four trails are the *Gen Crema Trail*, the *Al Krampert Trail*, the *Jim Olson Trail* and the *Phil Sander Trail*. The trails contain interpretive signage describing prairie plants and other information pertaining to the natural area.

The *Highway 165 Trail* was recently constructed adjacent to the expanded westbound lanes. The 10-foot wide, shared-use path extends 1.3 miles from 120<sup>th</sup> Avenue to Terwall Terrace in Prairie Springs Park. The path connects to the bike lanes on County Highway H through the trail network in Prairie Springs Park.

## 2.2 Parkland Classification Analysis

The number and type of parks and recreation facilities needed within a community are dependent on the demands of the local residents. Identifying the recreational needs and wants of community residents provides the justification for funding the acquisition and development of new facilities as well as for the maintenance of existing recreational facilities.

### 2.2.1 Parkland Classification

A parkland classification system is a useful tool to determine if an existing park system serves the needs of a community. The definitions in this document are adapted from the National Recreation and Park Association (NRPA) classification system. Total acreage alone does not guarantee that the community's park needs are being met. A community should have a number of different types of parks to serve the various needs of the residents. They may have "met the standard" in acreage through the creation of one large park, but the community's needs can best be met through a variety of recreational activities. **Table 2-1** explains the seven park classifications most commonly used in the NRPA system, their associated use, service areas, desirable size and desired acres per 1,000 population. A well-rounded park system offers at least one park in each classification.

**Table 2-1 National Recreation and Park Association Parkland Classification System**

Component	Use	Service Area	Desirable Size	Acres/1,000 Population
<b>A. Local/Close-to-Home Space</b>				
Mini Park	Specialized facilities that serve a concentrated or limited population or specific group such as tots or senior citizens.	Less than ¼ mile radius	1 acre or less	0.25 to 0.5A
Neighborhood Park	Areas for intense recreational activities, such as field games, court games, crafts, playground apparatus area, skating, picnicking, wading pools, etc.	¼ to ½ mile radius to serve a population up to 5,000 (a neighborhood)	3-10 acres	1.0 to 2.0A
Community Park	Areas of diverse environmental quality. May include areas suited for intense recreational facilities, such as athletic complexes and large swimming pools. May be an area of natural quality for	Several neighborhoods. 1 to 2-mile radius	10+ acres	5.0 to 8.0A

outdoor recreation, such as walking, viewing, sitting, picnicking. May be any combination of the above, depending upon site suitability and community need.

**Total Local Space = 6.25 to 10.5 AC/1,000**

**Table 2-1 (Continued) NRPA Parkland Classification System**

Component	Use	Service Area	Desirable Size	Acres/1,000 Population
<b>B. Regional Space</b>				
Regional/ Metropolitan Park	Areas of natural or ornamental quality for outdoor recreation, such as picnicking, boating, fishing, swimming, camping, and trail uses; may include play areas.	Several communities. One hour driving time ~ 40 miles	200+ acres	5.0 to 10.0A
<b>C. Space that may be Local or Regional and is Unique to Each Community</b>				
Linear Park	Area developed for one or more varying modes of recreational travel, such as hiking, biking, snowmobiling, horseback riding, cross-country skiing, canoeing and pleasure driving. May include active play areas. (NOTE: the above components may occur in the "linear park")	No applicable standard	Sufficient width to protect the resource and provide maximum use	Variable
Special Use	Areas for specialized or single purpose recreational activities, such as golf courses, nature centers, skateparks, marinas, zoos, conservatories, arboreta, display gardens, arenas, outdoor theaters, gun ranges, or downhill ski areas, or areas that preserve, maintain, and interpret buildings, sites, and objects of archeological significance. Also, plazas or squares in or near commercial centers, boulevards, parkways.	No applicable standard	Variable	Variable
Conservancy	Protection and management of the natural/cultural environment with recreational use as a secondary objective.	No applicable standard	Sufficient to protect the resource	Variable

### 2.2.2 Level of Service Standards

Once a community's existing parks have been classified, a comparison can be made between the national standard for each park type and existing park acreage. While there is no formally established method to determine the Level of Service (LOS) provided by the existing facilities, the following parameters should be considered.

Indicators	Social Environmental Economic
Acreage/Miles	Population standards (Acres/1000 population) Benchmarking
Facilities, Activities, Capacity	Population standards Demographic Analysis Neighborhood area activities Supply/Demand
Access	Walking/Bicycling/Driving, Transit Parks Facilities
Quality	Evaluation Mapping/Distribution
Programs	Relevancy, quality, and variety Scheduling Mapping/Distribution

The widely accepted NRPA standard for park acreage per 1,000 population is 10.5 acres. It is recommended that this acreage be distributed among park types as follows:

**Table 2-2 NRPA Recommended Park Standards**

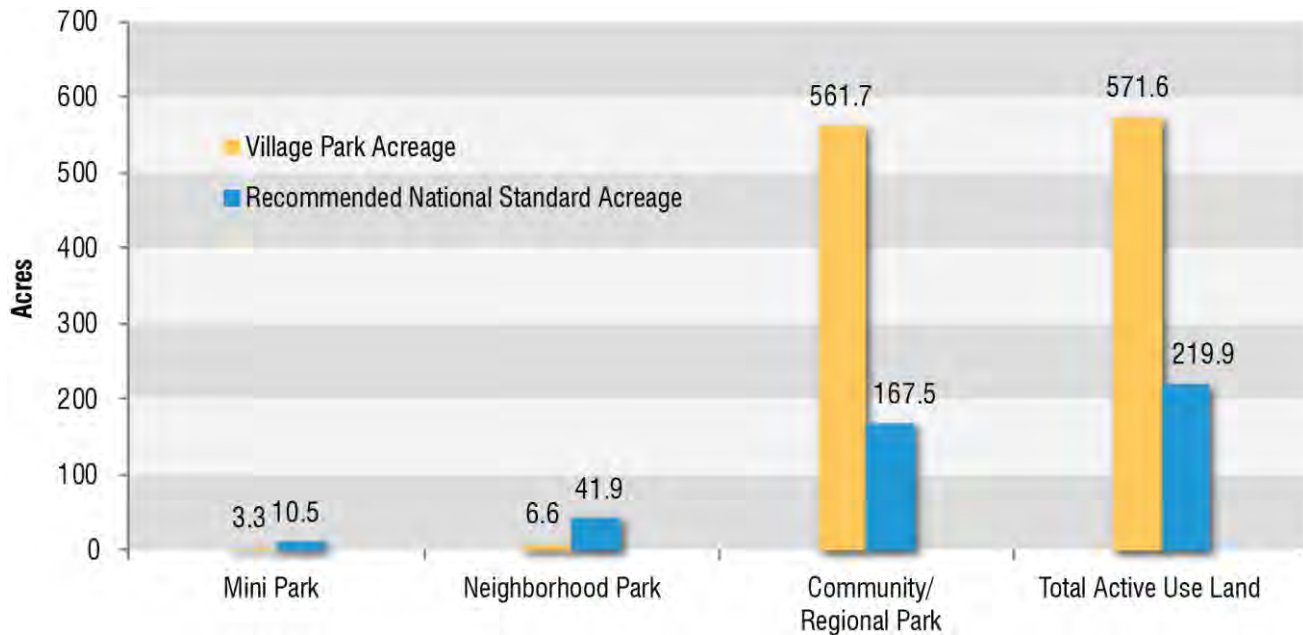
Mini Parks	0.5 acres/1,000 population
Neighborhood Parks	2 acres/1,000 population
Community/Regional Parks	8 acres/1,000 population
Total	10.5 acres/1,000 population

Park acreage totals in Pleasant Prairie compared to NRPA standards are shown in **Chart 2-1**. Applying the ratios from **Table 2-2** to the Pleasant Prairie estimated 2017 population of 20,936, the park acreage standards (shown as the blue bars in **Chart 2-1**) are established. The Village is below the national standard in terms of mini park and neighborhood park areas, but far exceeds the standards for community/regional park and total park areas. In order to meet the standard for all park types, the Village would have to add 7.2 acres of mini park and 35.3 acres of neighborhood park. Due to the surplus of community park acreage, reclassification of a community park to neighborhood park could be one way to meet the standard for neighborhood park area without acquiring new park land. It should be noted that only Village owned, active use parks are used in this calculation. Conservancy parks, County parks and school parks are not counted toward the NRPA standard.

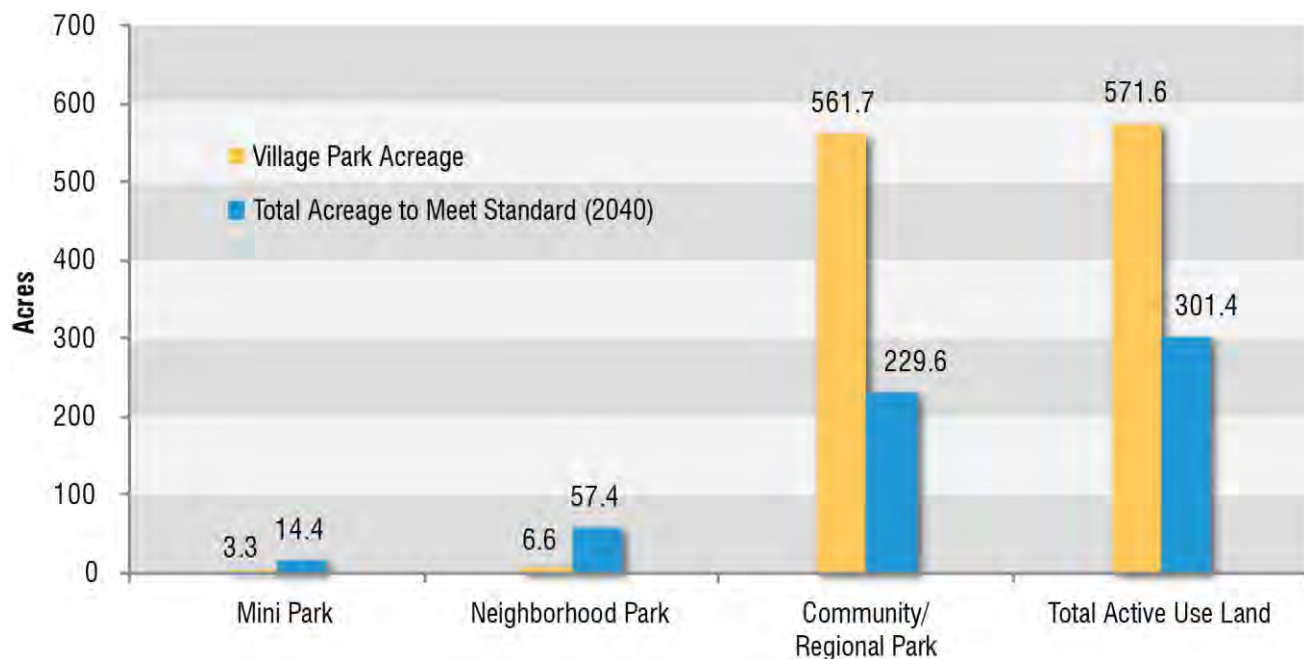
**Chart 2-2** uses the 2040 population projection (Wisconsin Department of Administration) of 28,700 residents and applies it to measure current acreage figures compared to future standards. Pleasant Prairie would require an additional 50.8 acres of neighborhood park land and 11.1 acres of mini park land to meet the NRPA standard for the 2040 population (see **Chart 2-3**). The Village would still exceed the standard areas for community parks and total parks by a considerable amount.

The NRPA acreage standards should only be seen as one tool by which to measure a community's overall park level of service. Several other factors contribute to the value of parks in addition to overall acreage. The number of amenities in parks, the type of amenities in parks and the age makeup of the community are just a few other factors that must be considered when estimating the service level of a park system.

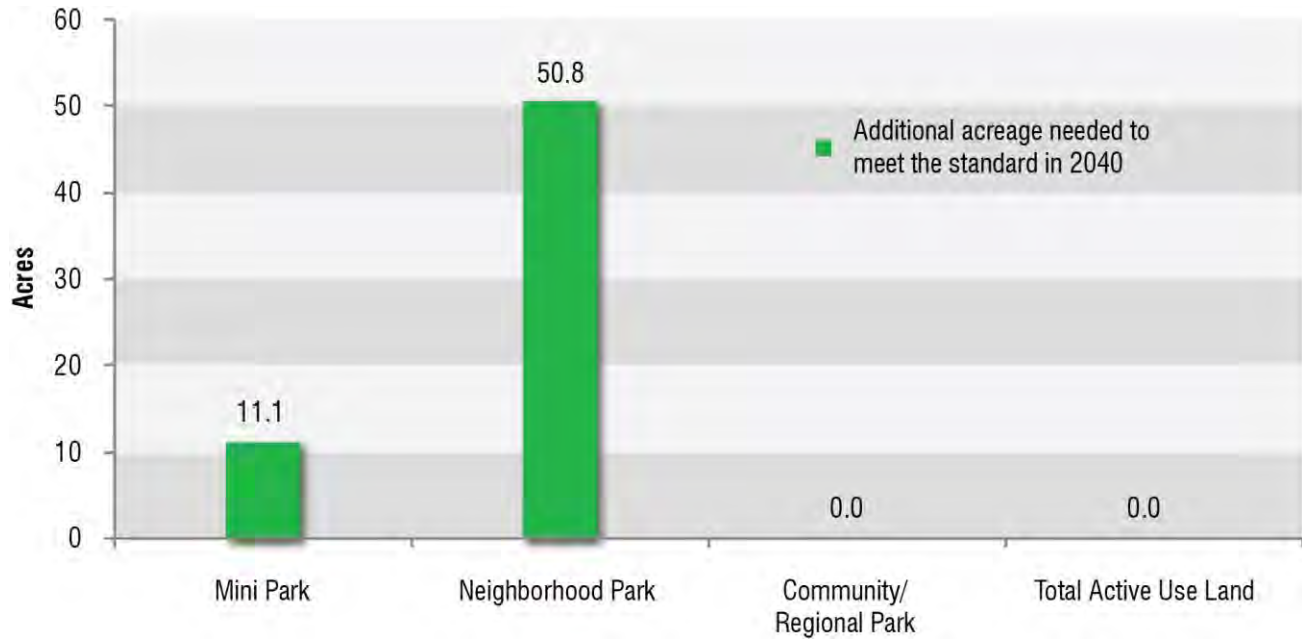
**Chart 2.1** – Pleasant Prairie park acreage compared to the recommended national standard



**Chart 2.2** – Pleasant Prairie park acreage compared to the 2040 population projection





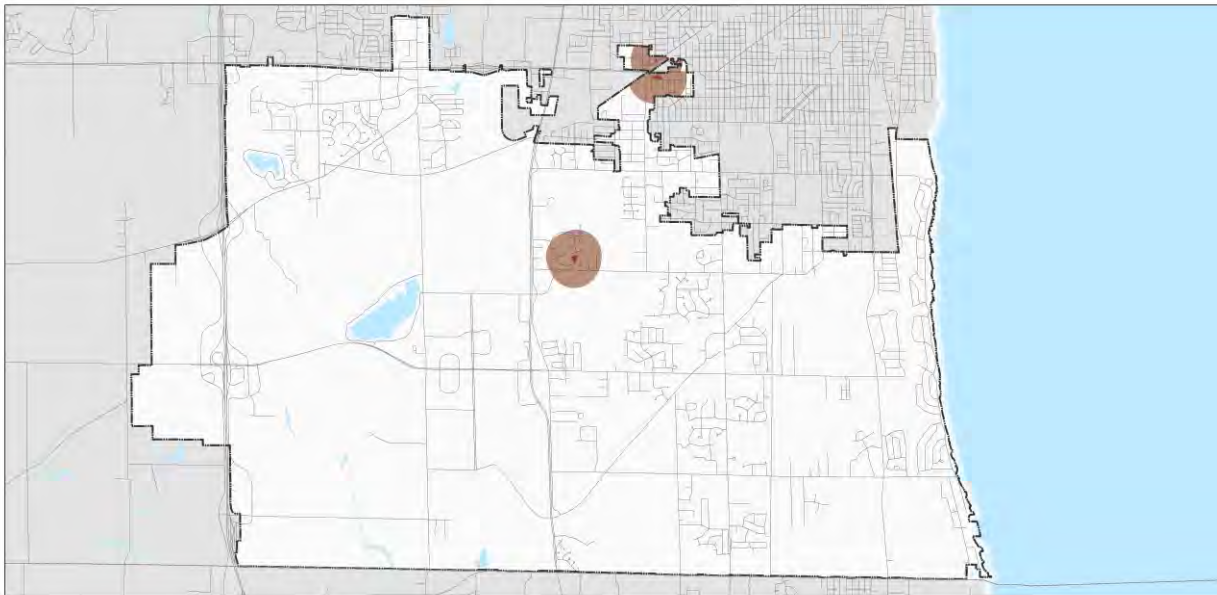
**Chart 2.3** – Additional park acreage needed to serve forecasted 2040 Village population

\*See page 38 for potential future park locations.

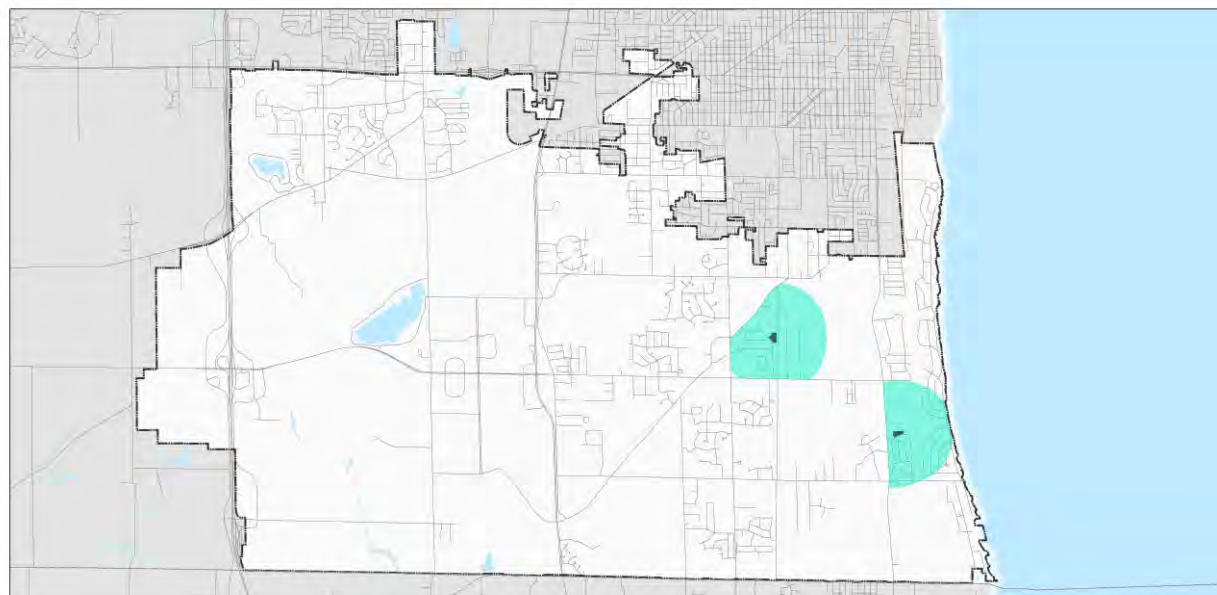
## 2.3 Park Service Area Requirements

This method of evaluating a community's parkland needs and adequacy of service includes plotting park service areas on a base map to identify areas that are underserved. Utilizing the park service radii criteria established by the NRPA, park service areas were mapped for Village owned mini, neighborhood, community and regional parks.

To more accurately depict true service areas for mini and neighborhood parks, the park buffer areas were trimmed at major street crossings. It is assumed that these major street corridors would be a barrier to accessing smaller parks. The community park and regional park service areas are not trimmed because these types of parks are considered driveable destinations, drawing people from outside the expected walking distance.

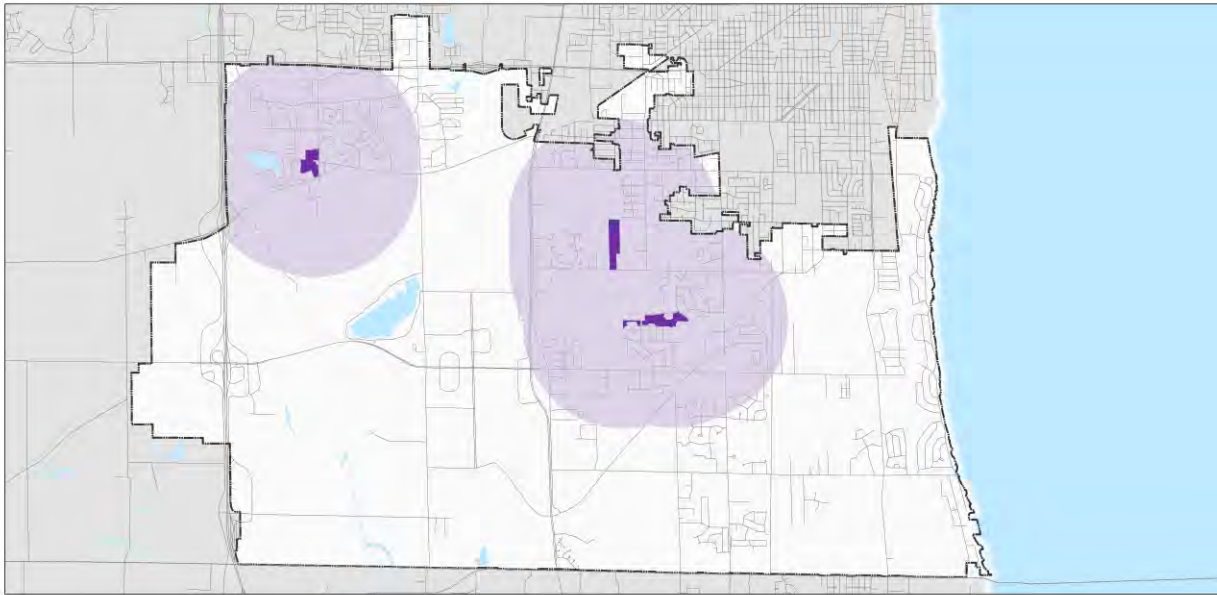


Mini Park Service Areas



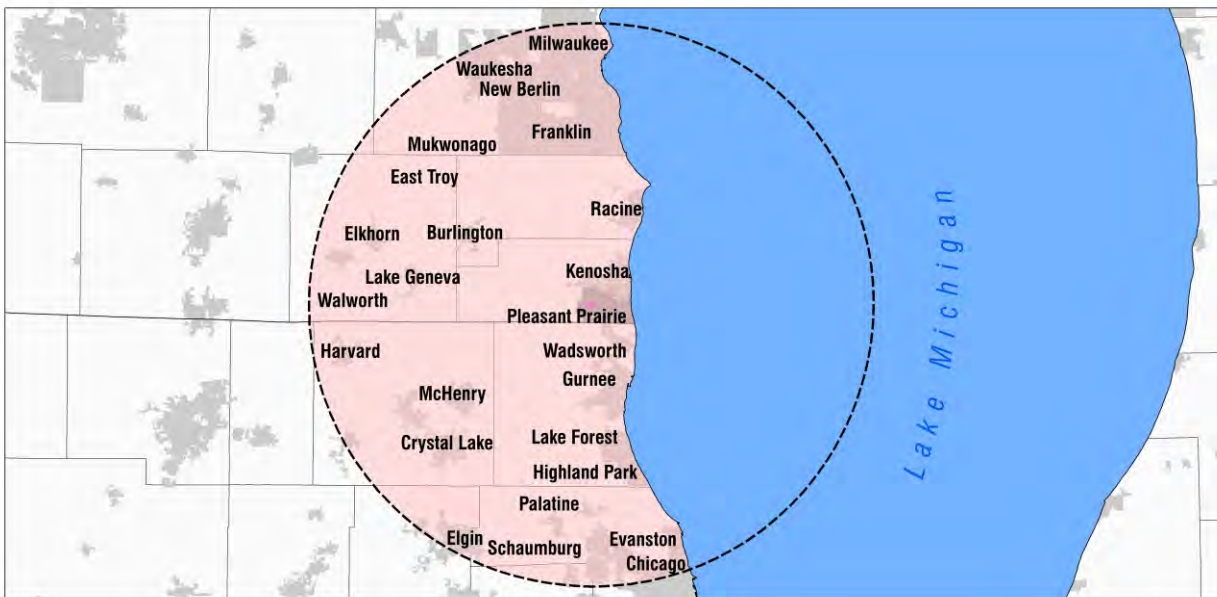
Neighborhood Park Service Areas





Community Park Service Areas

It should be noted that the Pleasant Prairie's regional park, Prairie Springs Park, has a service area much larger than that of the other park classifications. A regional park has a service area equivalent to a one-hour drive time, or approximately, 40 miles. It is a great asset to the community to have a destination park such as Prairie Springs Park. It also means that all Village residents reside in the service area of a park because Prairie Springs Park's service area covers the entire Village.



Regional Park Service Area

The park service area buffers were combined into a single map that can be found in **Appendix B, Map 2**. Park service area analysis reveals some significant gaps in coverage. While this is likely not an issue for some of the less densely populated parts of the Village (southwest), there are some more populated areas that are not in the reach of any nearby parks other than the regional park.

Gaps should be examined that exist in populated areas in the north-central, northeast and south-central parts of the Village. New parks in these areas is the first solution to be considered to improve the reach of Village parks. Changing the classification of open space land by adding active use amenities could be one alternative to adding new park land. If features such as playground equipment and tennis courts were installed at one of the open space areas in the south-central part of the Village, a new neighborhood park would be created with a service area that would reach residents within one-half mile. More detailed mapping and GIS analysis can be found in **Appendix B**. Maps showing population density as well as maps using GIS techniques such as overlay analysis were used to help formulate the recommendations of this plan regarding potential future park locations and amenities.

## 2.4 GIS Age Cohort Analysis

Age cohort analysis was developed to help prioritize improvements based on the distribution of residents by age and the availability of recreation facilities by geographic location. The methodology includes the layering of data on a map (See **Map 8 in Appendix B**). The result is a graduated scale of relative need or “priority” based on the absence of a particular set of amenities we would expect an age group to utilize. The map is used to identify areas of spatial mismatch where parks containing certain amenities are not located in neighborhoods containing user groups best suited for those amenities. For example, if an area contains a high percentage of toddlers (age 2-5) but does not contain toddler-aged play equipment, the priority rating would be “high” because the area lacks the amenities to serve that population.

The analysis was used for four populations:

1. Under 5 years of age: toddlers are best served by play equipment such as sandboxes, toddler swings, tot slides, spring riders, and tilt cups.
2. Ages 5 to 9: this group can be expected to use play equipment such as swings, climbing structures, teeter totters, merry-go-rounds and monkey bars.
3. Ages 10 to 17 years of age: this group can be served by a variety of park facilities. Amenities evaluated for this population include facilities related to baseball, softball, soccer, basketball, skateboarding and ice skating.
4. Age 55+: service to this group included facilities such as hiking trails, outdoor fitness stations, boat launches, pickleball and tennis.

## 2.5 Bicycle and Pedestrian Connections

A park-by-park analysis revealed a lack of barrier-free access to some park facilities and playgrounds. This is an important consideration for residents who have mobility limitations and require additional accommodation. Barrier-free access to many of the facilities can be accommodated by simple solutions such as installing curb cuts to allow easy access for pedestrians from the street to the park. This missing piece of infrastructure also poses a barrier for cyclists. Additional bike racks should be considered in some parks.

Online survey results revealed a strong desire for more bicycle and pedestrian facilities in Pleasant Prairie. Survey participants cited a need for new facilities for both recreational purposes as well as to establish safer routes to community destinations. **Map 3 (Appendix B)** shows the existing and proposed bicycle network in Pleasant Prairie. Bike routes are shown as designated by the Village Bicycle and Pedestrian Trails Plan. Although this plan will seek to identify opportunities to expand the bicycle network to reach more park spaces, the 2010 Bicycle and Pedestrian Trails Plan should be referenced for bicycle and pedestrian facility development.

## 3 RECOMMENDATIONS

This chapter includes a variety of recommendations specifically developed to meet the recreational needs of the community over the next five years. The recommendations incorporate local citizen input and have been developed as a result of extensive analysis and participation by Village officials, citizens and Village staff as presented in the preceding chapters.

General recommendations are provided for direction on policy and design considerations while considering operational and maintenance procedures. This chapter also includes a detailed park inventory sheet for each Village park including general issues, possible improvement options and costs. This chapter is divided into the following sections:

**3.1 General Recommendations:** system-wide policies and procedures

**3.2 Future Parks and Open Spaces:** identification of general locations for new park land that would best serve the community

**3.3 Individual Park Recommendations:** an inventory sheet has been provided for each Village Park (includes inventory and park improvement options)



### 3.1 General Recommendations

#### 3.1.1 Park Facility Recommendations

Several common issues were noted during the planning process resulting from observations made during site visits, meetings with community staff and community input. Those issues and recommendations for improvements related to those issues are listed below:

##### 1. ADA Accessibility

Site visits revealed that some parks did not provide ADA accessibility to park facilities such as playground equipment, picnic shelters and sports courts. It was also observed that many of the support components at Village parks (picnic tables, drinking fountains, etc.) were not ADA approved models.

### Recommendations:

- Conduct an ADA audit system-wide, and develop a prioritized action plan to address documented issues.
- Retrofit all parks and park facilities to be disabled accessible (when possible). This includes assuring barrier-free access to all play areas, shelters, sport courts, seating areas and restrooms.
- Where possible with existing infrastructure, assure that all parks are improved with ADA approved drinking fountains, picnic tables and other park components.



Examples of an ADA approved picnic table and drinking fountain.

## 2. Safety Surfacing and/or Safety Mats at Playgrounds

Many parks are missing safety mats under play equipment. Safety mats serves the dual purpose of providing a safe landing surface in fall zones as well as allowing for easier wheelchair access to equipment. Depending on the type of safety surfacing installed, safety mats may also be necessary. Mats are typically installed in playgrounds using sand or wood chip style safety surfacing and are located at critical points where children would enter or exit a piece of equipment.

### ○ Recommendations:

- Install safety surfacing in all playgrounds.
- Install safety mats where required under swings and at entry/exit points of play structures in all playgrounds.

## 3. Missing Support Components

Some parks did not have support components such as drinking fountains, trash/recycling receptacles and bicycle parking.

### ○ Recommendations:

- All parks “Neighborhood Park” size or larger should have trash receptacles, recycling receptacles, drinking fountains and bike racks. These components should be installed on a hardscape surface such as concrete or asphalt.



#### 4. Aging Play Equipment

Park inventories revealed that some of the Village playground equipment is showing signs of age and will need to be replaced in the near future. It is often the case that a community purchases play equipment for several parks at the same time from the same manufacturer. This equipment will therefore begin to fail at similar times. Playground surfacing should be replaced in conjunction with replacement of play features.

○ Recommendations:

- This plan recommends the replacement of play equipment in three Village parks during the five-year period after its adoption. After that period, another set of parks may need to have playground equipment replaced. We recommend this staggered approach to replacing playground equipment to avoid the situation in which all playgrounds begin to have equipment fail at the same time.
- Play equipment condition for each park was noted during site visits. The following table was prepared to inventory play equipment condition from “Excellent” to “Needs Replacement”. All play equipment found to be in a condition of “Needs Replacement” is recommended to be replaced in this plan. Much of the play equipment found to be in “Fair” condition will likely be due to be replaced when this plan expires in five years.

Park Type	Park	Condition of playground equipment and surfacing (Excellent, Good, Fair or Needs Replacement)
Mini	Becker Park	<b>Needs Replacement</b>
	Creekside Park	<b>Excellent</b>
	Woodlawn (Harrison) Park	<b>Fair</b>
Neighborhood	Carol Beach Park	<b>Needs Replacement</b>
	Rolling Meadows Park	<b>Fair</b>
Community	Ingram Park	<b>Excellent</b>
	Pleasant Prairie Park	<b>Excellent</b>
	Village Green Park	<b>Excellent</b>
Regional	Prairie Springs Park	<b>3 Playgrounds (1 - Excellent, 2 - Needs Replacement)</b>

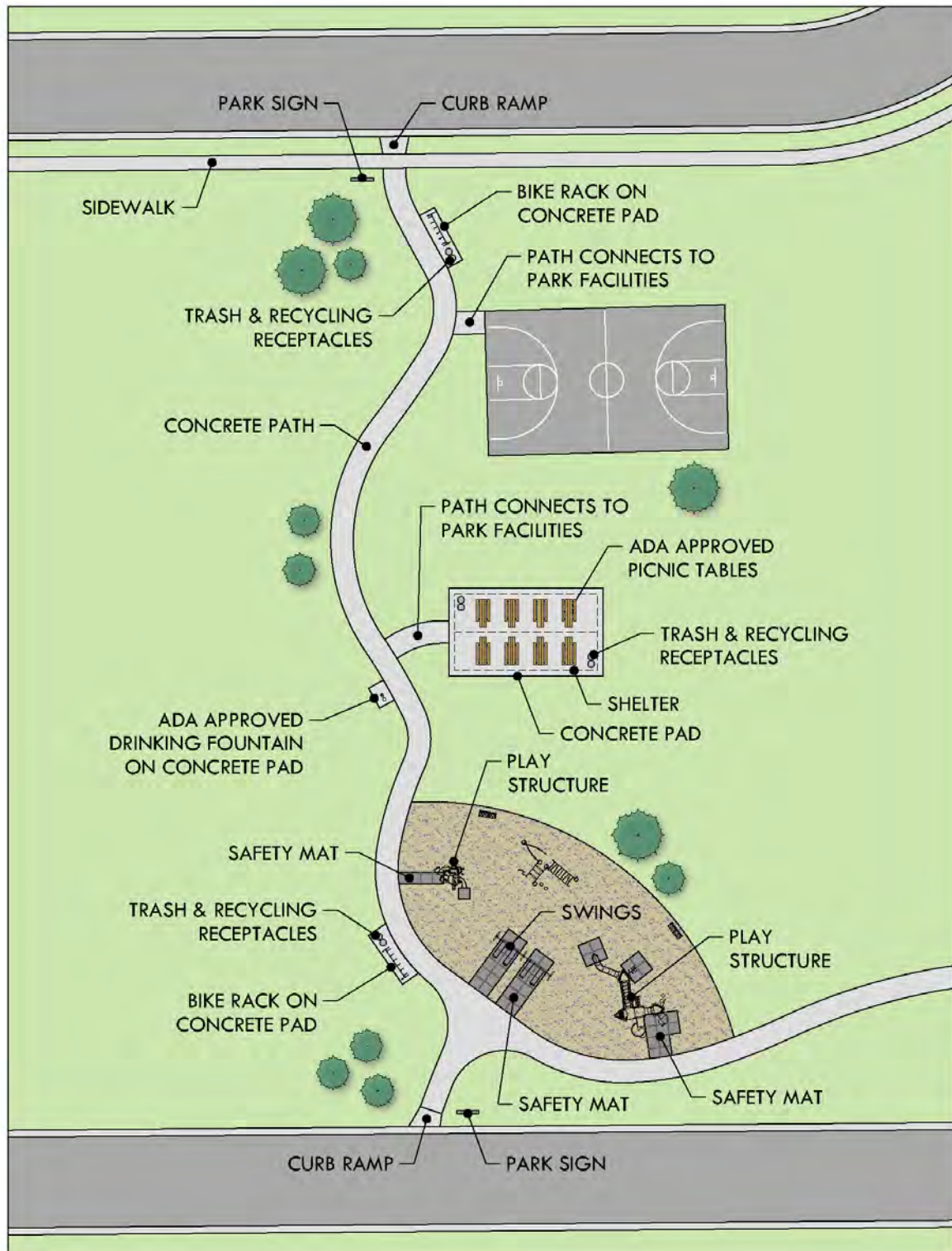
#### 5. Baseball Fields

An opportunity exists for improvements to Village ballfields that would improve recreational value as well as potentially reduce future maintenance costs.

○ Recommendations:

- Develop smaller fields (70' bases for 12 and under) throughout the Village for practices and drop-in use.
- Convert all baseball fields to turf infields. This would result in reduced infield maintenance costs.
- Install dugouts, batting cages and bullpens on all fields intended for game use.
- Field restoration every three years (cut lips, add infield mix)

The following graphic illustrates some of the “best practices” for the type of park improvements recommended in this plan. Typical ADA requirements call for barrier free access to all park facilities. Hardscape paths, playground safety mats and ADA approved support components are examples of good design for accessibility. Other examples of necessary elements for general park design include bicycle parking, trash/recycling receptacles and park signage.



### 3.1.2 Promotion/Education

- a. Establish a community-wide wayfinding system that identifies key parks and bicycle routes along primary transportation corridors to and through the Village. Regularly update all bicycle and park system maps as new facilities are developed.
- b. Continue to communicate with user groups over facilities updates and promote donations and formalized use agreements for maintenance.
- c. Invite private partner groups to participate in periodic park update meetings to keep participation and awareness high for ongoing project endeavors.
- d. Create a parks location map on the Village web page to include interactive content and create specific site maps for each park illustrating site layout and amenities.

### 3.1.2 Environmentally Sustainable Practices

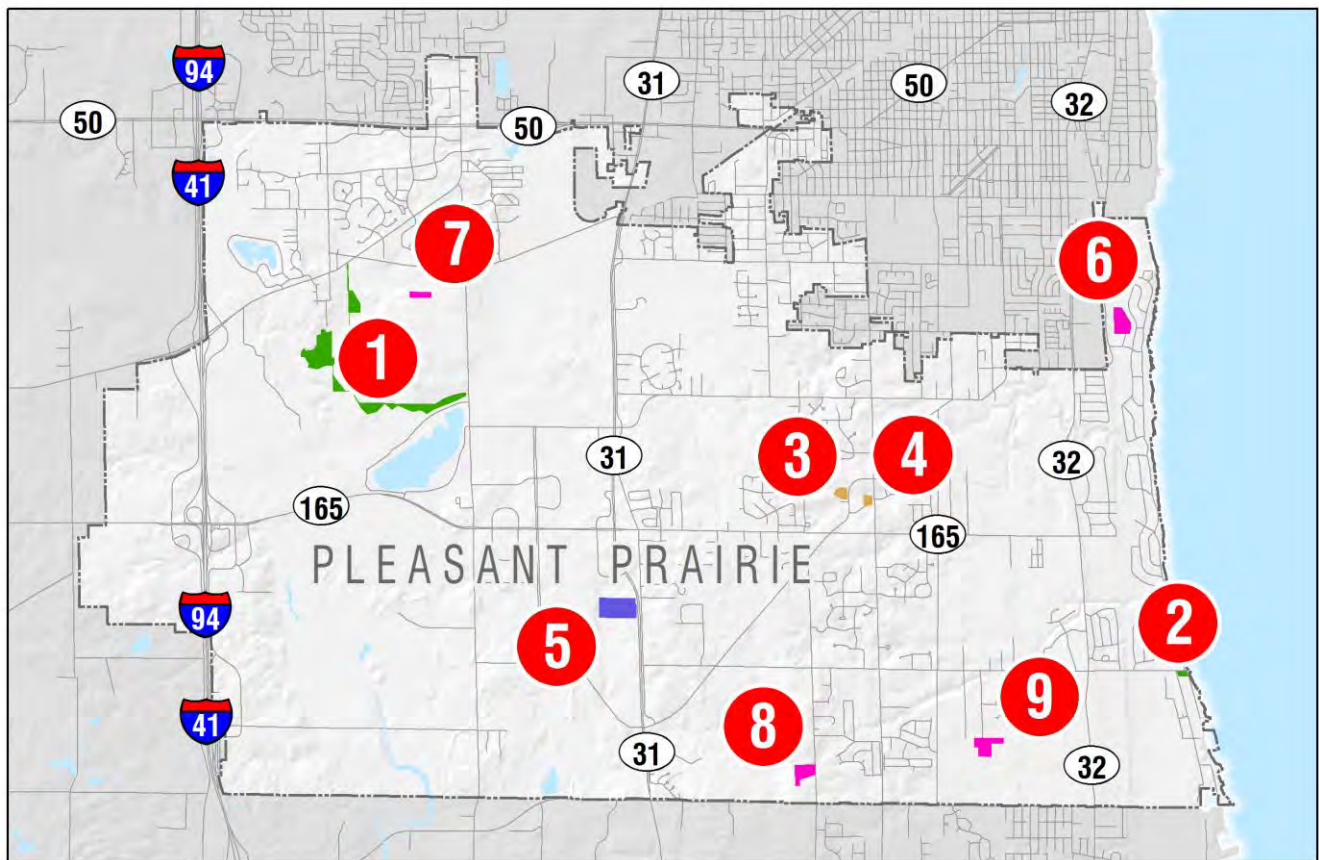
- a. Trash and recycling receptacles should be evenly distributed throughout Village parks. The method of collection should also be used to determine receptacle locations. Placement of trash receptacles near sitting benches, for example, is not preferred since it may discourage use of the benches.
- b. Manage Emerald Ash Borer infestations in Village ash trees with replacement of removed trees, treatment of trees in key locations and pre-emptive removals.
- c. Consider integrating rain gardens and bio-retention facilities, rain barrels, and other stormwater best management practices into existing facilities and proposed improvements.
- d. Consider adopting a “grow not mow” policy in Village parks to limit how often (and what portions of) parks are mowed. Adding a day or more to the mowing cycle and preserving natural grasslands in parks can reduce the amount of fossil fuels consumed in Village operations. These new grasslands can also function as natural buffers around shoreland and wooded areas and help reduce soil erosion.
- e. There are a variety of operational and maintenance activities that often can be accomplished for less cost. Fuel is a big expense, prompting some communities to have strict idling policies that restrict how long a municipal vehicle can remain running before it is turned off. Similarly, warming up vehicles should be limited. An example would be restricting warm up to no more than five minutes.
- f. When replacing and/or installing new lighting in Village parks, consider fixtures that utilize solar regeneration and LED illumination to reduce long-term maintenance costs and minimize non-renewable energy use.

## 3.2 Future Parks and Open Spaces

### 3.2.1 Future Park Locations

Future growth of the Village will lead to the construction of new neighborhoods and new parks within potentially expanding Village limits. The process for determining the location, size and makeup of these parks is a multi-phase process involving public input and a series of conceptual plans.

Park level of service analysis in Chapter 2 revealed that the total park area in Pleasant Prairie exceeds the necessary area needed to serve current and future Village populations. The analysis did however reveal a deficiency in the quantity of neighborhood and mini parks. The Village may want to consider adding additional parkland in the future to increase the availability of mini and neighborhood parks. This could be accomplished by acquiring new park land from private owners, developing Village owned land not currently classified as parkland or reclassifying existing parkland by adding recreational facilities. The adjacent map shows some potential locations for the development of neighborhood or mini parks.



The development priority of any of these properties is dependent on several factors including but not limited to population change, proximity to other parks, existing service areas and construction costs. Two of the future parks are parks that have been established as potential park locations and have had master plans prepared. One of the parks is an existing park that could be converted to a mini or neighborhood park with the addition of recreational facilities. The remaining six locations are proposed future parks recommended in the Village's 2035 Comprehensive Land Use Plan and the 2013-2018 Village Park and Open Space Plan.



Potential future park locations suggested by Village representatives are numbered 1 to 2 on the adjacent map and shaded green.

#### Future Parks

1 – *Andrea Lake (Northwest)* – This Village-owned property northwest of Andrea Lake contains the Prairie Farms Trail which links Prairie Springs Park to the Pleasant Prairie Park area. This land could potentially be formally dedicated as park land with improvements including additional trail connections to the trails in the Des Plaines River Open Space, the Ponderosa Trail system and the southern part of Kevek farm.

2 – *DNR Land* – This is a DNR owned open space between Phil Sander Park and Chiwaukee View Park. Village acquisition or shared use with the DNR for the purpose of conversion to active park use should be considered. This would serve the dual purpose of increasing park acreage while also expanding and combining the existing parks.

Proposed parks that have had master plans completed are numbered 3 to 4 on the adjacent map and shaded orange. See Appendix C for the Master Plan graphics detailing improvements for each of these parks.

#### Future Parks with Master Plans

3 – *Neighborhood Commons* – This park master plan was prepared in 2017 with proposed facilities including entry plazas, an amphitheater and trails.

4 – *Village Square* – The master plan for Village Square was also prepared in 2017 and included facilities such as a playground, splashpad and park pavilion.

One existing park currently classified as open space would be a good candidate for conversion to an active-use park. This park is shaded purple on the adjacent map.

#### Existing Parks

5 – *Momper's Woods* – This is one of four parks located in the south-central part of the Village that are classified as "Conservancy, Open Space and Natural Areas." GIS analysis revealed that this is an area in the Village that may be in need of additional active-use park land due to rising population and lack of nearby facilities (See Map 7, Appendix B). Conversion of one of these parks to a neighborhood park could be a solution to the apparent need in the area. Momper's Woods seems to be the best candidate as other open space lands in the area are wetlands or serve as storm water detention areas. Momper's Woods had a conceptual plan prepared for its development as a part of the 2013 Park and Open Space Plan. Recommendations included an educational nature center, a ceremony lawn, trail improvements and rentable pavilions.

The remaining future park lands were recommendations of the 2035 Comprehensive Land Use Plan and the 2013-2018 Village Park and Open Space Plan. Some of these are currently privately-owned properties with the expectation that they will become available with future residential development through parkland dedication.

#### Future Neighborhood Parks per the 2035 Comprehensive Land Use Plan and the 2013-2018 Village Park and Open Space Plan

6 – *Carol Beach Neighborhood Park* – This Village owned, 13.4-acre parcel is located north of 90<sup>th</sup> Street and west of 3<sup>rd</sup> Avenue.

7 – *Pleasant Farms Neighborhood Park* – This proposed parkland is located southwest of the intersection of Bain Station Road and 88<sup>th</sup> Avenue. It contains approximately 5 acres and is privately owned.

8 – *Pleasant Homes Neighborhood Park* – Located on 47<sup>th</sup> Avenue just north of the Wisconsin/Illinois border, this proposed parkland is approximately 11 acres and is privately owned.

9 – *Prairie Trails East Neighborhood Park* – This privately owned, proposed parkland containing approximately 12 acres is located at the south end of 26<sup>th</sup> Avenue.

Additionally, the 2013 Park and Open Space Plan included Conceptual Plans for improvements in existing Village parks. Some of these improvement recommendations have been completed while others are still being considered for development. These plans are worth noting as the development of new facilities can change the classification of existing parks.

Existing park conceptual plan recommendations included:

- *Prairie Springs Park* – Development of soccer fields, a 300-car park and ride lot and trail improvements. The park and ride and some trail improvements have been completed.
- *Ingram Park* – The concept plan for Ingram Park includes many recommended improvements that have since been developed. Recently developed facilities include a fishing pond, a sledding hill, a dog run and a playground.
- *Pleasant Prairie Park* – Concept plan recommendations that have been developed include tennis courts, a basketball court and playground. Additional recommendations included trail development, a dog park, a baseball field and a disc golf course.
- *Village Green Park* – Concept plan recommendations that have been developed include tennis courts, a basketball court, an asphalt path, a playground and a parking lot. Additional recommendations included a park shelter, a sand volleyball court and a baseball field.
- *Becker Park* – Recommendations included re-grading to improve drainage, installation of ADA accessible play equipment and softball field improvements. It does not appear that any of these improvements were completed.
- *Carol Beach Park* – Recommendations included replacement of the basketball goals, replacement of the playground equipment, upgrading the pavilion and improvements to the softball field. It does not appear that any of these improvements were completed.
- *Creekside Park (South)* – The concept plan for Creekside Park shows a playground that has been constructed. Additional recommendations of the plan included a gazebo and a paved path.
- *Lake Michigan Park* – Recommendations included a concessions building, a lake overlook and paved parking lots. None of these improvements have been developed.
- *Rolling Meadows Park* – The concept plan illustrated a park shelter, trailhead improvements and paving of the existing gravel trail. These improvements have not been developed.
- *Woodlawn (Harrison Road) Park* – The concept plan for Woodlawn Park recommended an ADA accessible playground and updated park signage. A new park sign was installed at some point after 2013 but the play equipment has not been made ADA accessible.

### 3.2.2 Park Layout Concept /Park Master Plans

Each proposed park should have a concept or master plan prepared prior to construction to guide its future development. This same process should be repeated for any park if significant improvements are planned. The goal of the master plan is to determine what type of improvements are possible in the given space and to provide a layout for the development of those improvements.



*Park Master Plan Graphic Example*

The process for development of a park master plan includes research and data collection to identify drainage patterns, topography and other site features. After this initial reconnaissance, a public meeting is held to gather input on preferred park programming and amenities. Following this community engagement, concept development plans are created and cost estimates are prepared. These concept plans are further refined through public feedback and staff discussions into a final graphic and summary report.



### 3.3 Individual Park Recommendations

The following section discusses more detailed recommendations for each park. These recommended improvements are based on issues identified in site visits and comments from residents and local officials. Improvement options identified for each park are included in the 5-Year Capital Improvements Table in Chapter 4.

Each park's inventory sheets contain the location of the park, existing facilities, observed issues and recommendations for improvements. Not all improvements can be made in the next five years and many require substantial investment in the form of time, money or human capital to implement. Improvement recommendations should be viewed as options that could occur to mitigate, improve or promote aspects of the park site.

A sample inventory sheet (shown below) illustrates how information is presented on each park sheet. Park sheets are presented by parkland classifications devised by the National Recreation and Park Association as identified in Chapter 2.

40 | Chapter 3: Recommendations

**PARK NAME** Rolling Meadows Park

**PARK SITE IMAGE**

**PARK DESCRIPTION & LOCATION** This 3.6-acre neighborhood park is located at the intersection of 32<sup>nd</sup> Avenue and 99<sup>th</sup> Street adjacent to the Kenosha County Bike Trail. Park features include a playground, gravel trails and open space.

**PARK CLASSIFICATION INDICATOR** Community Park, Neighborhood Park, Mini Park

**PARK LOCATION MAP**

**SITE MAP**

**INVENTORY OF EXISTING FACILITIES**

**OBSERVED ISSUES**

**PROGRAMS, EVENTS & REVENUE GENERATORS**

**IMPROVEMENT OPTIONS & COST ESTIMATE**

Existing Facilities:		Issues:	
• Swings (3 belt, 1 bucket)	• No available parking	• No recycling receptacles	
• Slide	• No recycling receptacles	• Graffiti	
• Gravel trail	• No ADA access to play equipment	• No safety mats under play equipment	
• Pedestrian bridge	• No safety mats under play equipment	• No bike parking	
• Connection to Kenosha County Bike Trail	• No drinking fountain		
• Benches			
• Park sign			
• Open space			
• Natural area			
• Trash receptacle			

**Programs, Events & Revenue Generators**

- None

**Improvement Options & Estimate**

• Add small parking area along 32 <sup>nd</sup> Ave to accommodate two to three cars	\$30,000
• Install ADA approved drinking fountain	\$10,000
• Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment	\$2,000
• Install bike rack on hardscape surface	\$1,500
• Install recycling receptacle	\$1,000
• Connect path to playground	\$1,000
<b>TOTAL</b>	<b>\$45,500</b>





# MINI PARKS





# Becker Park

Becker Park is a 1.4-acre mini park on 76<sup>th</sup> Street between 48<sup>th</sup> and 50<sup>th</sup> Avenue. A playground with a play structure and swings is the main attraction of the park.

**Existing Facilities:**

- Play structure (5 to 12 year old)
- Panel games
- Swings (3 belt, 1 bucket)
- Sandbox
- Sandlot backstop
- Park sign
- Picnic tables
- Trash receptacles
- Bench
- Open space
- Parking

**Issues:**

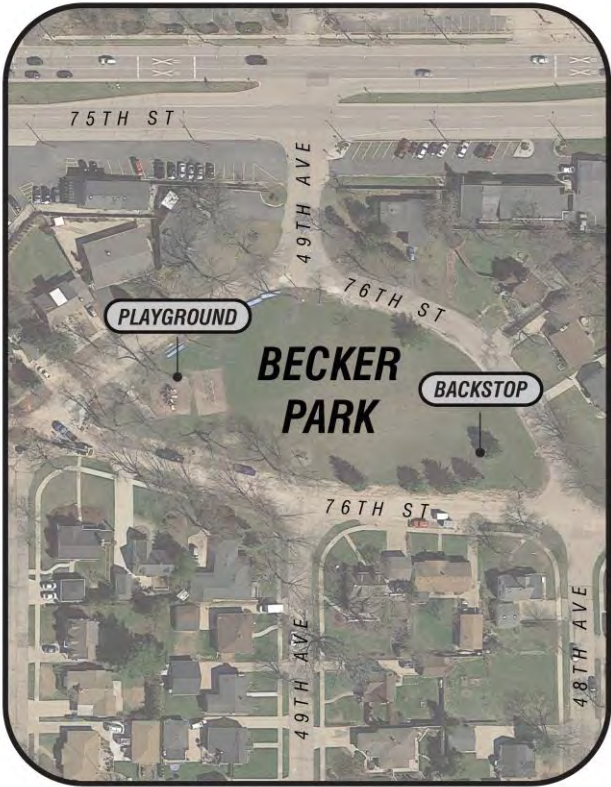
- Play structure is aging
- Dead tree
- Sandbox is aging
- No safety mats under play equipment
- No recycling receptacle
- Some play equipment is not ADA accessible



**Improvement Options & Estimate**

- Remove and replace playground equipment (play structure, swings, sandbox, bench and safety surfacing) .....\$150,000
- Remove dead tree .....\$2,000
- Install concrete or asphalt path to play equipment.....\$2,000
- Install recycling receptacles .....\$1,000

**TOTAL \$155,000**





# Becker Park

## Site Photos:







# Creekside Park (South)

Creekside Park (South) is a 1.7-acre mini park on Creekside Circle in the Creekside Crossing development. 2012 improvements include the addition of a play structure and swing set.

**Existing Facilities:**

- Play structure (5 to 12 year old)
- Swings (2 belt, 2 bucket)
- Spring rider
- Open space
- Gravel path
- Picnic table

**Issues:**

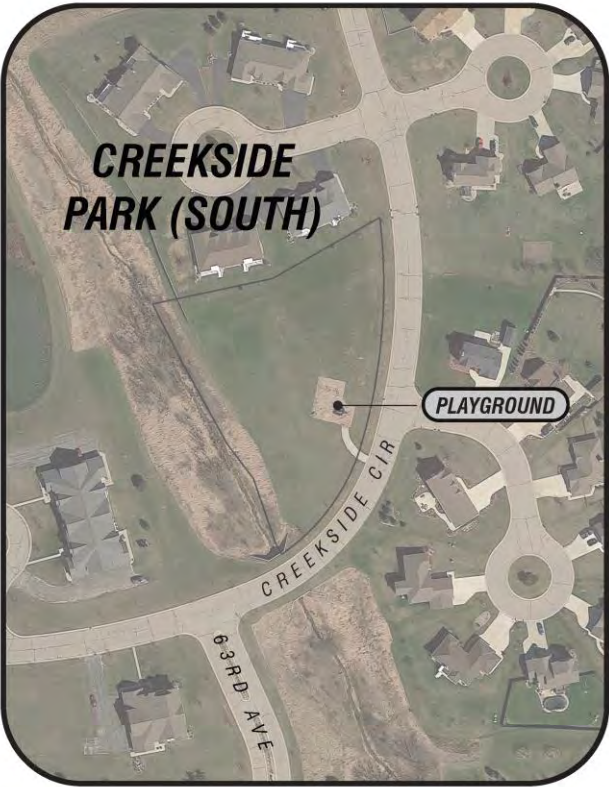
- No safety mats under play equipment
- No trash or recycling receptacles
- Play equipment is not ADA accessible
- Picnic table is not ADA accessible
- Playground sign is damaged



**Improvement Options & Estimate**

- Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment .....\$3,000
- Install trash & recycling receptacles .....\$2,000
- Install concrete or asphalt path to play equipment and picnic table .....\$1,500
- Install ADA accessible picnic table .....\$1,500
- Remove and/or replace playground sign .....\$500

**TOTAL \$8,500**





## Creekside Park (South)

### Site Photos:







# Woodlawn (Harrison) Park

This 0.2-acre mini park is located at the intersection of 50<sup>th</sup> Avenue and Harrison Road on the Village’s north side. Existing facilities include a small playground with a slide, swings and a sandbox.

**Existing Facilities:**

- Slide
- Swings (1 belt, 1 bucket)
- Sandbox
- Trash receptacle
- Bench
- Park sign

**Issues:**

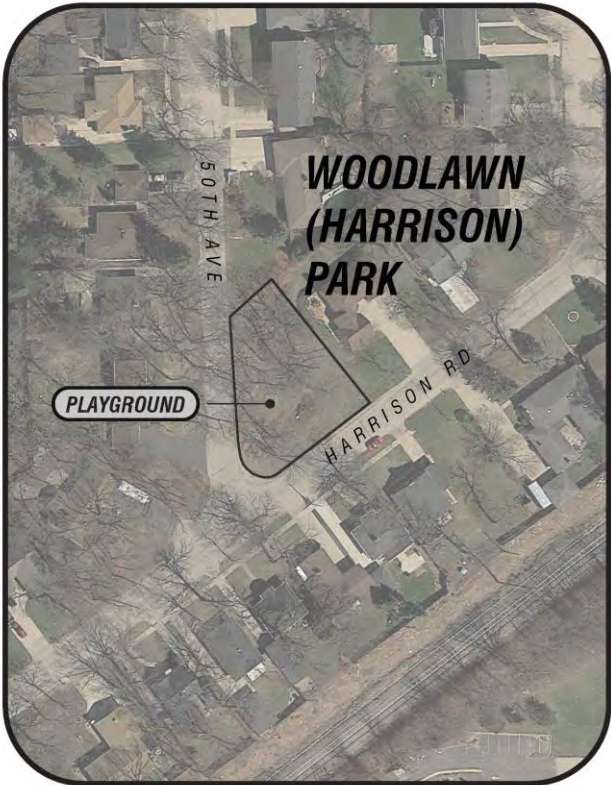
- Drainage issues
- No safety surfacing under swings
- No safety mats under play equipment
- No ADA access to play equipment
- No recycling receptacles



**Improvement Options & Estimate**

- Resolve drainage issues .....\$5,000
- Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment .....\$3,000
- Install concrete or asphalt path to play equipment .....\$2,000
- Install recycling receptacle .....\$1,000

**TOTAL \$11,000**





## Woodlawn (Harrison) Park

### Site Photos:











# NEIGHBORHOOD PARKS







# Carol Beach Park

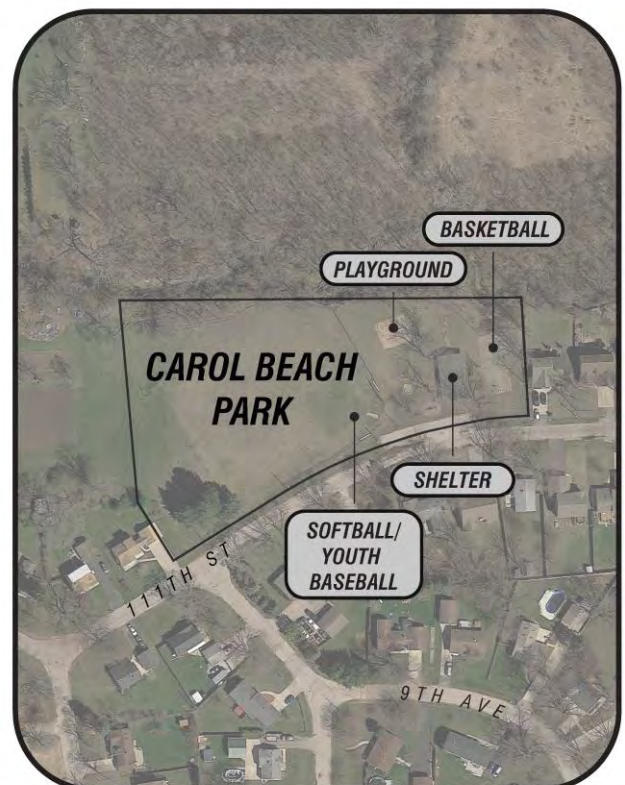
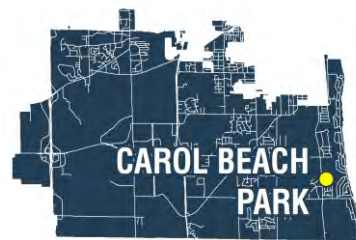
Carol Beach Park is a 3.0-acre neighborhood park near the intersection of 111<sup>th</sup> Street and 10<sup>th</sup> Avenue. Park facilities include a playground, a basketball court and a park shelter.

## Existing Facilities:

- Park shelter
- Basketball court
- Play structure (5 to 12 year old)
- Swings (3 belt, 2 bucket)
- Sandbox
- Softball/youth baseball field (No infield)
- Parking
- Park sign
- Benches
- Lighting
- Picnic tables
- Trash receptacle
- Open space

## Issues:

- Park sign is damaged
- No recycling receptacles
- Drainage issue at parking lot
- No parking lot striping
- No ADA access to park facilities
- No basketball court striping
- Dead/dying tree with broken limbs overhanging play area
- Park shelter is aging in some areas
- Graffiti
- No safety surfacing under swings
- Exposed concrete footings at swings
- Picnic tables not ADA approved models
- No drinking fountains
- No bike parking
- Play structure is aging
- No safety mats under play equipment
- Infield is grown over
- Sandbox is aging
- Sharp edges exposed on team bench at baseball field





# Carol Beach Park

## Improvement Options & Estimate

• Remove and replace playground equipment (play structure, swings, sandbox, benches and safety surfacing)	\$150,000
• Resolve drainage issue in parking lot	\$10,000
• Install drinking fountain	\$10,000
• Install concrete or asphalt path from parking lot to park amenities	\$8,000
• Remove dead/dying tree with broken limbs overhanging playground	\$5,000
• Skin and resurface infield.	\$5,000
• Replace picnic tables with ADA approved models	\$4,500
• Repair park shelter	\$3,000
• Repair/replace park sign	\$3,000
• Install recycling receptacles (2)	\$2,000
• Paint lines on basketball court	\$2,000
• Stripe parking stalls	\$1,500
• Install bike rack on hardscape surface	\$1,500
• Remove graffiti	\$1,000
• Cap end of team benches	\$500

TOTAL \$207,000

## Site Photos:





## Carol Beach Park

### Site Photos:





# Carol Beach Park

## Site Photos:







# Rolling Meadows Park

This 3.6-acre neighborhood park is located at the intersection of 32<sup>nd</sup> Avenue and 99<sup>th</sup> Street adjacent to the Kenosha County Bike Trail. Park features include a playground, gravel trails and open space.

**Existing Facilities:**

- Swings (3 belt, 1 bucket)
- Slide
- Gravel trail
- Pedestrian bridge
- Connection to Kenosha County Bike Trail
- Benches
- Park sign
- Open space
- Natural area
- Trash receptacle

**Issues:**

- No available parking
- No recycling receptacles
- Graffiti
- No ADA access to play equipment
- No safety mats under play equipment
- No bike parking
- No drinking fountain



**Improvement Options & Estimate**

- Add small parking area along 32<sup>nd</sup> Ave to accommodate two to three cars .....\$30,000
- Install ADA approved drinking fountain .....\$10,000
- Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment .....\$2,000
- Install bike rack on hardscape surface .....\$1,500
- Install recycling receptacle .....\$1,000
- Connect path to playground .....\$1,000

**TOTAL \$45,500**





## Rolling Meadows Park

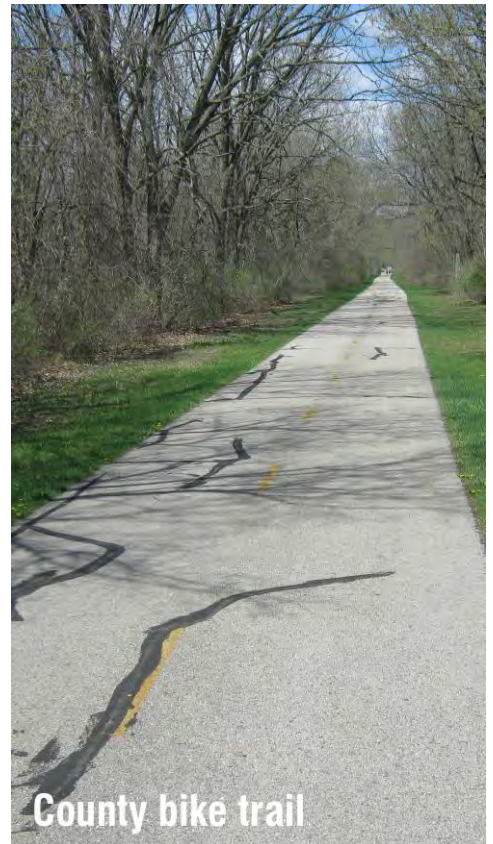
### Site Photos:



Gravel path



Swings



County bike trail



Bridge to trail



Playground



Graffiti







# COMMUNITY PARKS







# Ingram Park

Ingram Park is a 30-acre community park on 93<sup>rd</sup> Street, approximately 1,500 feet west of 51<sup>st</sup> Avenue. Park amenities in include a sledding hill, a dog park, a playground and a fishing pond.

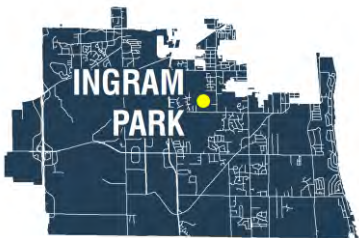
**Existing Facilities:**

- Sledding hill with lighting
- Dog park (with 2 small shelters, a swimming pond, agility equipment, regulatory signage and picnic tables)
- Fishing pond
- Play structure (5 to 12-year old)
- Swings (2 belt)
- Sandbox
- ADA accessible fishing pier
- Vietnam Memorial area (Bench, pavers and rock)
- Gravel path

- Parking lot
- Benches
- Park sign
- Port-a-Potty
- Trash receptacles
- Open space

**Issues:**

- Faded parking striping
- Bank erosion in some areas
- No recycling receptacles
- Missing playground entry point
- No bicycle parking
- No drinking fountain
- No safety mats under play equipment



**Improvement Options & Estimate**

- Construct shelter/restroom building .....\$125,000
- Install ADA approved drinking fountain .....\$10,000
- Add community garden .....\$10,000
- Install bank stabilization/erosion control measures .....\$5,000
- Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment ..... \$3,000
- Re-paint parking lot striping .....\$3,000
- Install recycling receptacles (2)..... \$2,000
- Add access point at playground for park visitor approaching on the path from the south (Create a gap in the fence and add a small section of gravel trail) .....\$1,500
- Install bike rack at playground .....\$1,500

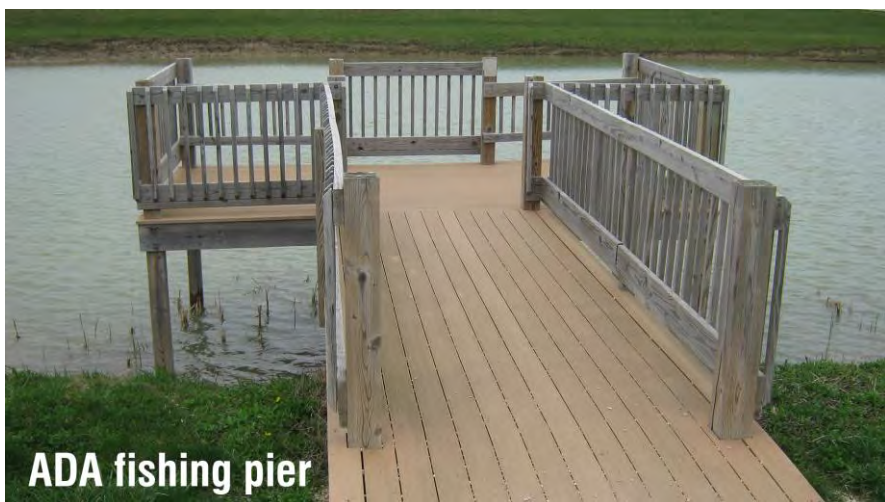
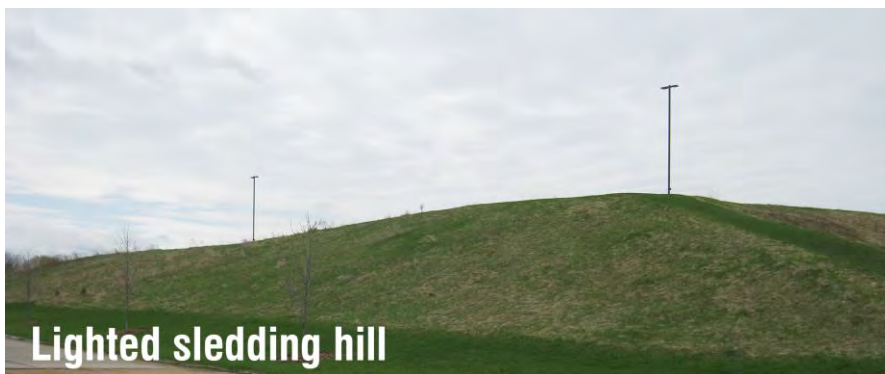
**TOTAL \$161,000**





## Ingram Park

### Site Photos:





# Pleasant Prairie Park

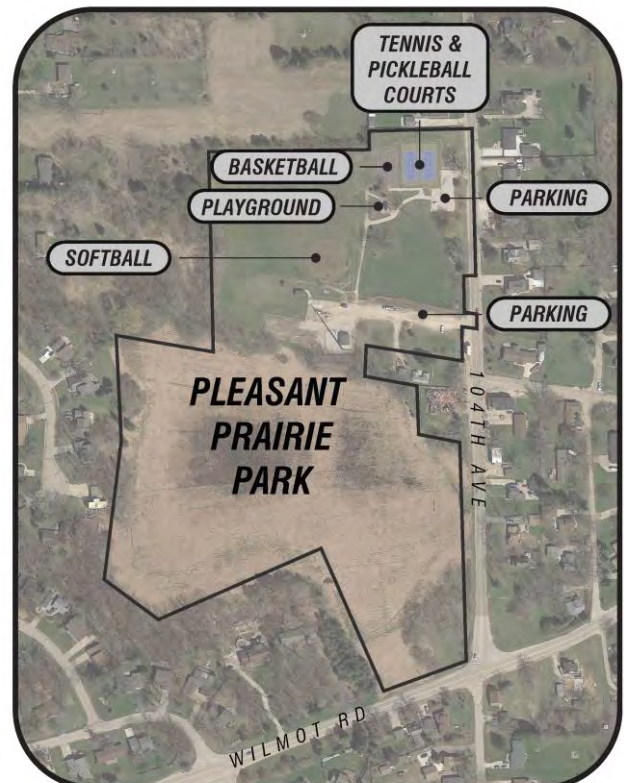
Pleasant Prairie Park is a 23-acre community park located near the intersection of 104<sup>th</sup> Avenue and Bain Station Road. Park facilities include a softball field, soccer fields and a playground. New basketball courts and tennis courts were added in 2016.

## Existing Facilities:

- Tennis/pickleball courts
- Basketball court
- Play structure (2 to 12 year old)
- (2) Softball/youth baseball fields with lights
- Soccer (multi-use) fields
- Restroom/storage building
- Small concession stand
- Natural area
- Gravel parking lots (2)
- Gravel path
- Park sign
- Bike rack
- Trash receptacles

## Issues:

- Torn basketball net
- No recycling receptacles
- No safety mats under play equipment
- Drainage issue at soccer fields
- Infields are grown over
- Aging fences at softball fields
- Exposed edges on team bench end sections
- Tipping light pole at softball field
- Bike rack should be on a hardscape surface
- Restroom building and concession stand are aging
- Exposed wires at concession stand
- No drinking fountain





# Pleasant Prairie Park

## Improvement Options & Estimate

• The softball fields (including lighting, backstops, fencing, concessions & restrooms) should be removed. Replace with re-oriented soccer fields. Some low spots may need to be filled to accommodate the desired field configuration (See graphics prepared by the Village on pages 66 and 67)	\$30,000
• Develop a trail network with interpretive signage in natural area	\$25,000
• Install drinking fountain	\$10,000
• Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment	\$3,000
• Install recycling receptacles (2)	\$2,000
• Replace basketball net(s)	Under \$500
• Move bike rack to a hardscape or gravel surface	Under \$500
	<b>TOTAL \$71,000</b>

## Site Photos:





## Pleasant Prairie Park

### Site Photos:



Gravel parking lot



Restroom building



Concession stand



Play structure



Leaning light pole



Fence at softball field



Pleasant Prairie Park

Site Photos:

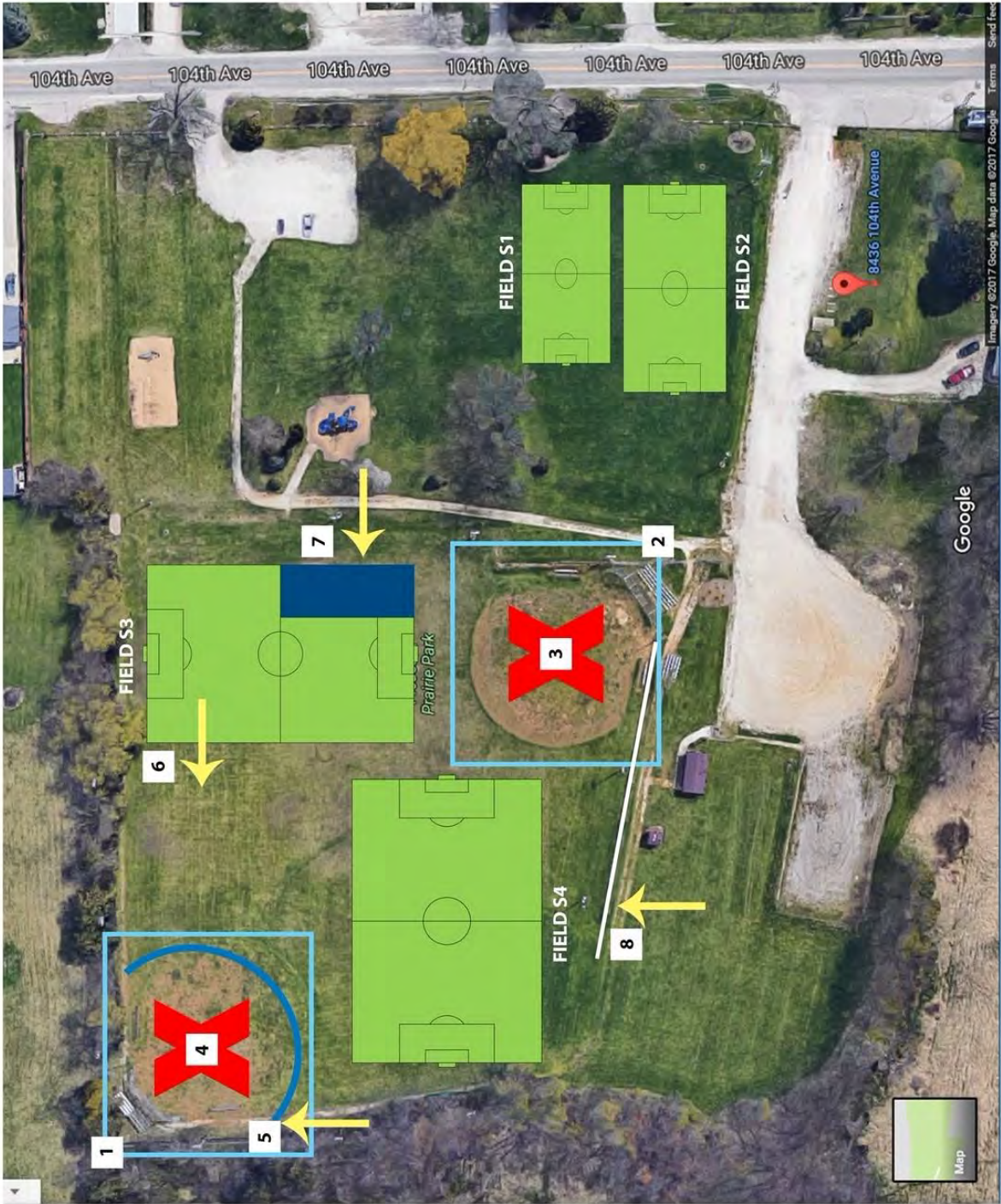




FIELD CHANGES

Pleasant Prairie Park  
8436 104th Ave.  
Pleasant Prairie, WI 53158

- 1-2: Seed area inside box - flat, green space
- 3-4: Remove Ball Fields
- 5: Level out cut of infield. There is a low spot around entire cut of infield. (Blue Area)
- 6: Remove S3 and move to new location. (See potential field layout sheet.)
- 7: Low spot (Blue Area) Needs more dirt, level out
- 8: Remove fence





Pleasant Prairie Park  
8436 104th Street  
Pleasant Prairie, WI 53158

POTENTIAL FIELD CHANGES







# Village Green Park

Village Green Park is a 29-acre community park located at the intersection of 97<sup>th</sup> Street and Cooper Road. Park facilities include tennis courts, basketball courts and a playground.

**Existing Facilities:**

- Tennis/pickleball courts
- Basketball court
- Play structure (5 to 12 year old)
- Swings (2 belt, 2 bucket)
- Spring riders
- Parking lot
- Asphalt path
- Open space
- Natural areas
- Trash receptacles
- Benches
- Park sign

**Issues:**

- No recycling receptacles
- No drinking fountain
- No bicycle parking
- No nets on basketball hoops
- Exposed footing on benches at playground
- No safety mats under play equipment



**Improvement Options & Estimate**

- |   |             |
|---|-------------|
| • Install splashpad .....   | \$400,000   |
| • Add summer beer garden .....  | \$20,000    |
| • Install youth baseball practice field (70' bases) .....   | \$20,000    |
| • Install drinking fountain .....   | \$10,000    |
| • Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment ..... | \$3,000     |
| • Install recycling receptacles (2) .....   | \$2,000     |
| • Install bike rack on hardscape surface .....  | \$1,500     |
| • Fill and maintain playground woodchip level above bench footings .....                                  | \$1,000     |
| • Install basketball hoop nets .....  | Under \$500 |

**TOTAL \$457,500**





## Village Green Park

### Site Photos:









# REGIONAL PARKS







# Prairie Springs Park

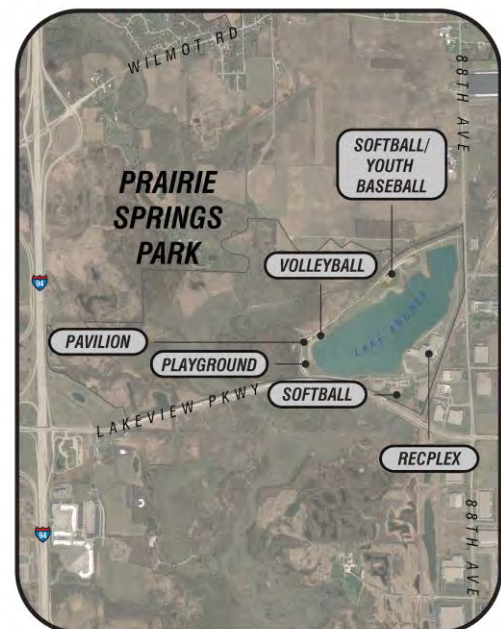
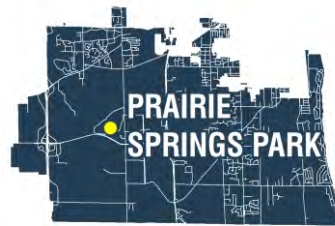
Prairie Spring Park is a 478-acre community park on the west side of the Village off of Highway 165. The park hosts some of the Village's best recreational facilities and is considered a regional draw. The Pleasant Prairie Rec Plex is 300,000 square foot recreational complex hosting indoor recreational activities such as hockey, basketball, soccer and swimming. Other amenities throughout the park include softball fields, a swimming beach, sand volleyball courts, an adjacent natural area with trails and a multi-use path around Lake Andrea. An Ecological Restoration and Management Plan was prepared in 2017 detailing recommendations for improvements to the natural area on the west side of the park. Recommendations included management of existing vegetative species, the removal of invasive species and improvements to the existing trail network.

## Existing Facilities:

- Rec Plex recreation center
- (6) Softball/youth baseball fields with lights
- Open air park shelter
- (2) Shelter/restroom buildings
- Parking lots
- Multi-use path
- Natural area
- Natural surface/gravel trails
- Observation platforms
- Swimming beach
- Indoor beach pavilion
- Sand volleyball courts
- Drinking fountains
- Park lighting
- Archery range
- Community garden
- (3) Play structures (5 to 12 year old)
- Play structure (2 to 5 year old)
- Merry-go-round
- Swings (6 belt, 3 bucket, 1 seat)
- Panel games
- Spring riders
- Jungle gym
- Pedestrian bridge
- Boat launch
- Park and ride
- Flagpole plaza
- Park signage (Wayfinding, entry feature, park signs, regulatory, trail maps, marquee sign, etc.)
- Storage buildings
- Bike racks
- Picnic tables
- Trash receptacles
- Open space

## Issues:

- Some worn areas on playground surfacing
- Some play equipment is aging
- Potential pinch point on bridge of play structure near south ballfields
- No safety mats under play equipment
- Few recycling receptacles
- Damaged trail map kiosk
- Some benches are aging
- Drainage issue on Field #1, north ballfields





# Prairie Springs Park

## Improvement Options & Estimate

- Replace 5 to 12 and 2 to 5 play structures in playground near south ballfields .....\$175,000
- Construct concessions building near north ball fields .....\$125,000
- Replace play structure and safety surfacing at the beach playground .....\$100,000
- Install fitness stations with outdoor exercise equipment along the path throughout the park .....\$50,000
- Install scoreboards on all four north ballfields .....\$15,000
- Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment .....\$10,000
- Resolve drainage issues at Field #1, north ballfields .....\$10,000
- Install recycling receptacles (8) .....\$8,000
- Replace aging benches (4) .....\$6,000
- Install additional bike racks throughout the park .....\$6,000
- Repair trail map kiosk .....\$500
- LONG TERM – Group all ballfields into one complex on site. New facility with dugouts, batting cages and bullpens for all fields.....TBD

**TOTAL \$505,500**

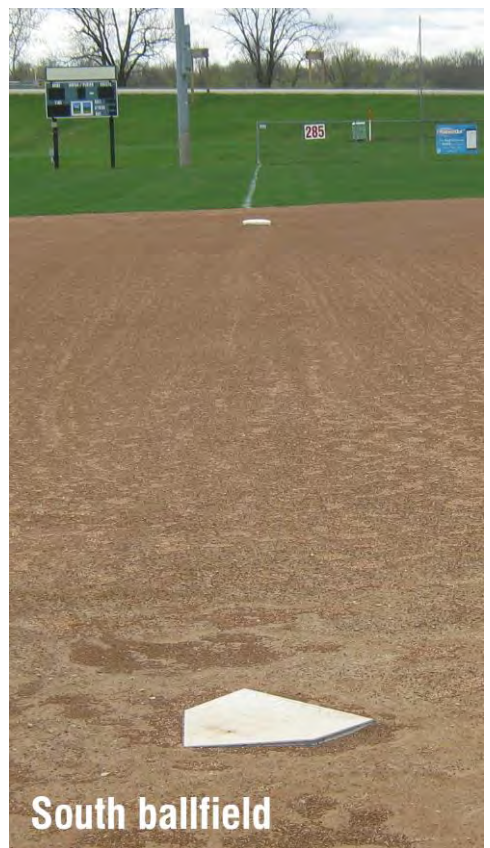
## Site Photos:





## Prairie Springs Park

### Site Photos:





## Prairie Springs Park

### Site Photos:



**Bike racks**



**Aging play structures near south ballfields**



**Possible pinch point on play structure**



**Wayfinding signage**



**Damaged trail map kiosk**



**Observation platform**







# SPECIAL-USE PARKS





# Lake Michigan Park (Prairie Shores Beach)

Lake Michigan Park is a 2.6-acre special-use park on the lake near the terminus of 110<sup>th</sup> Street. The main feature of the park is the beach and public lake access. There are also benches, walking trails and an unpaved parking area.

**Existing Facilities:**

- Beach
- Benches
- Park regulatory signage
- Natural area
- Natural surface trail
- Pedestrian bridge
- Parking (Unpaved)
- Trash receptacles

**Issues:**

- After hours/non-resident usage
- Park rules violations
- Parking lot drainage issue
- Littering
- No recycling receptacles



**Improvement Options & Estimate**

- Restore to natural dune condition and convert park to protected conservancy area. Maintain natural surface trails .....\$100,000
- Resolve parking lot drainage issue ..... \$10,000
- Install recycling receptacles (2) ..... \$2,000

**TOTAL \$112,000**

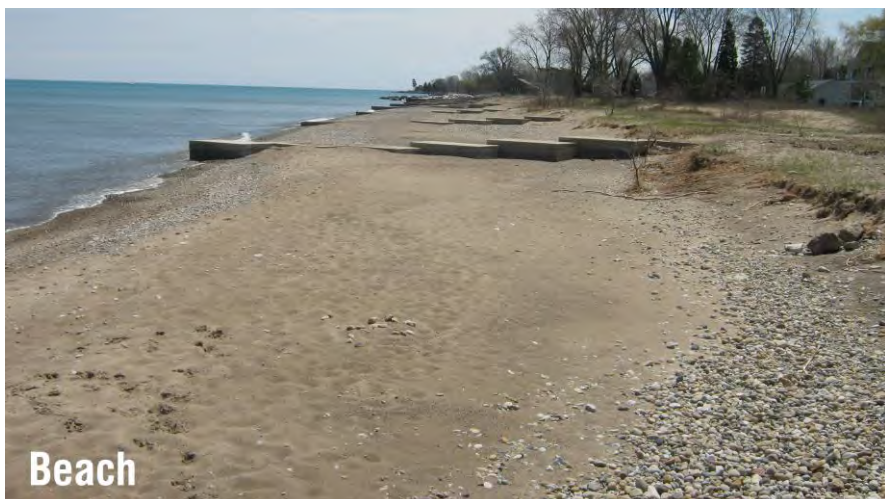
\*Refer to the 2018 Pleasant Prairie Shoreline Assessment to confirm the feasibility of improvement options and for potential shoreline protection improvements.





## Lake Michigan Park

### Site Photos:









# CONSERVANCY, OPEN SPACE & NATURAL AREAS







## Chiwaukee Prairie – Carol Beach Open Space

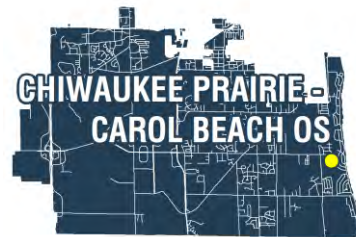
Approximately 480 acres of land on the Villages east side make up the Chiwaukee Prairie – Carol Beach Open Space conservancy area. Low prairie, wetland areas and sand dunes in the area are managed by The Nature Conservancy and the Wisconsin DNR. It has been recognized as a National Natural Landmark as a prime example of Lake Michigan shore low prairie and contains 75 types of grassland and wetland bird habitats.

### Existing Facilities:

- Natural/conservancy areas
- Trails
- Park signage
- Regulatory signage

### Issues:

- Shoreline erosion



**CONSERVANCY,**



**OPEN SPACE & NATURAL AREAS**

### Improvement Options & Estimate

- Refer to the 2018 Pleasant Prairie Shoreline Assessment to confirm the feasibility of improvement options and for potential shoreline protection improvements.



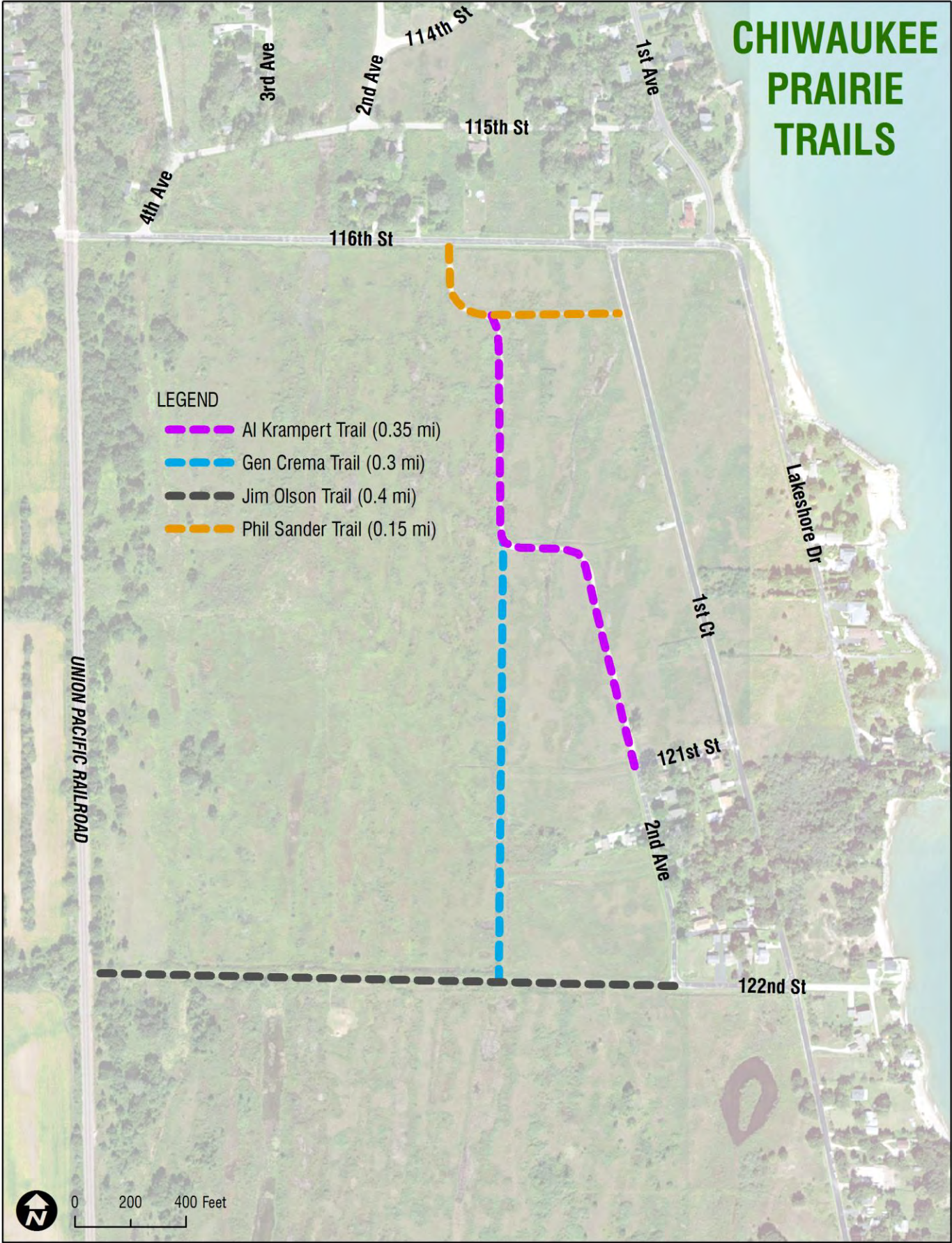


# Chiwaukee Prairie – Carol Beach Open Space

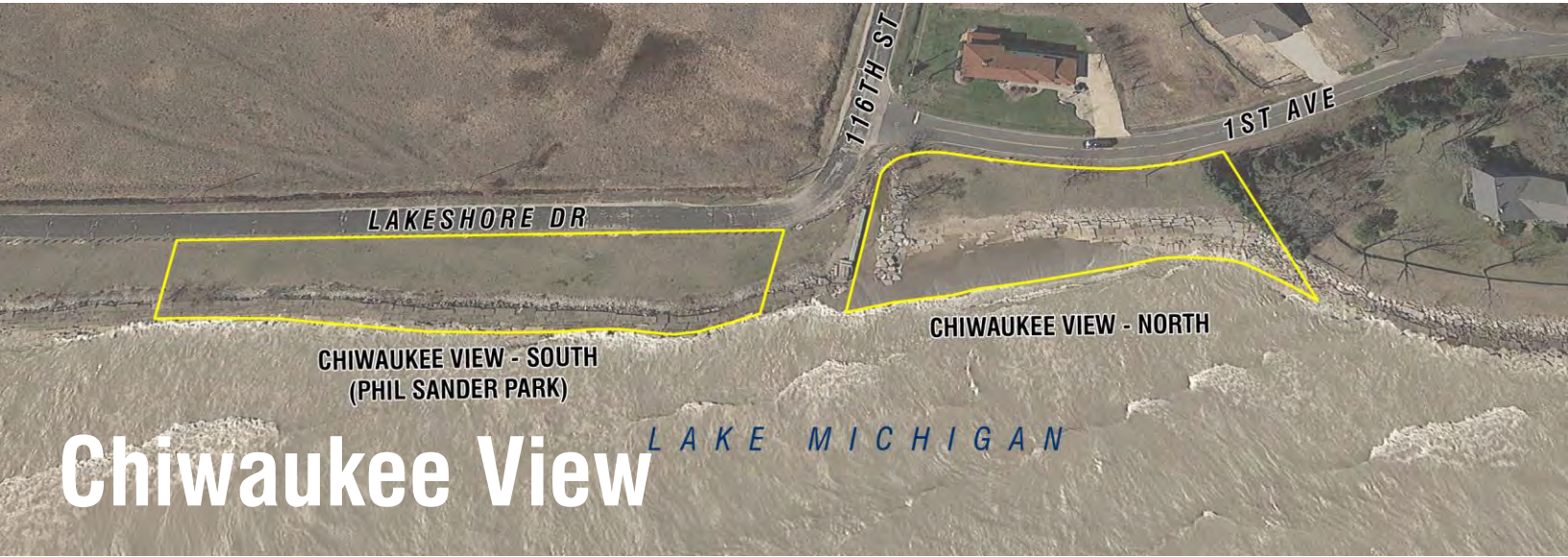
## Site Photos:











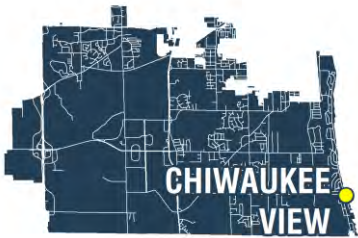
Chiwaukee View is parkland along Lakeshore Drive and adjacent to Lake Michigan, bisected by the 116<sup>th</sup> Street right-of-way. There are currently no recreational facilities.

**Existing Facilities:**

- Open space

**Issues:**

- None



**CONSERVANCY,**

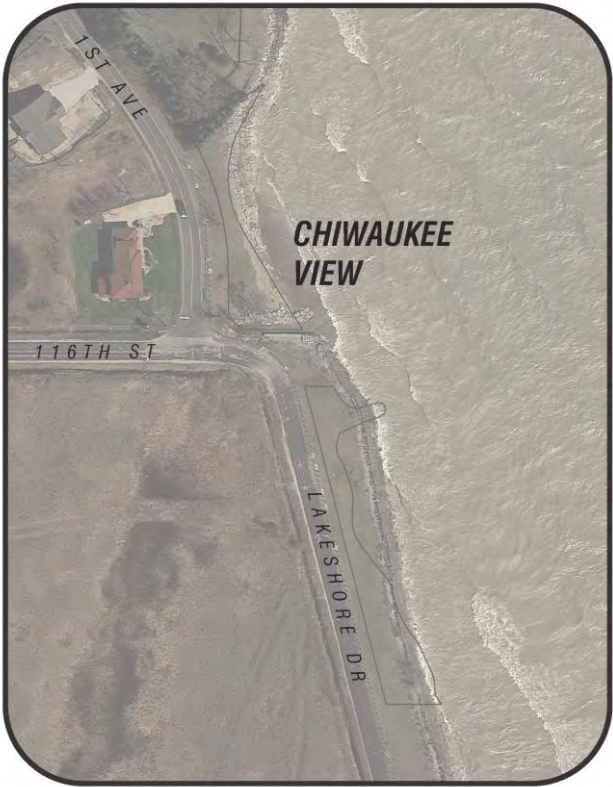


**OPEN SPACE & NATURAL AREAS**

**Improvement Options & Estimate**

- Install benches .....\$3,000
  - Investigate the possibility of expanding the park west of Lakeshore Dr and south of 116<sup>th</sup> St ..... TBD
- TOTAL \$3,000**

\*Refer to the 2018 Pleasant Prairie Shoreline Assessment to confirm the feasibility of improvement options and for potential shoreline protection improvements.







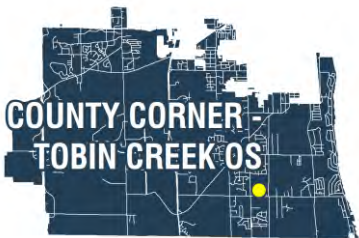
This 12-acre, primarily wetland, natural area is located north of 116<sup>th</sup> Street between 39<sup>th</sup> Avenue and the Kenosha County Bike Trail.

**Existing Facilities:**

- Natural/conservancy areas

**Issues:**

- None



**CONSERVANCY,**



**OPEN SPACE & NATURAL AREAS**

**Improvement Options & Estimate**

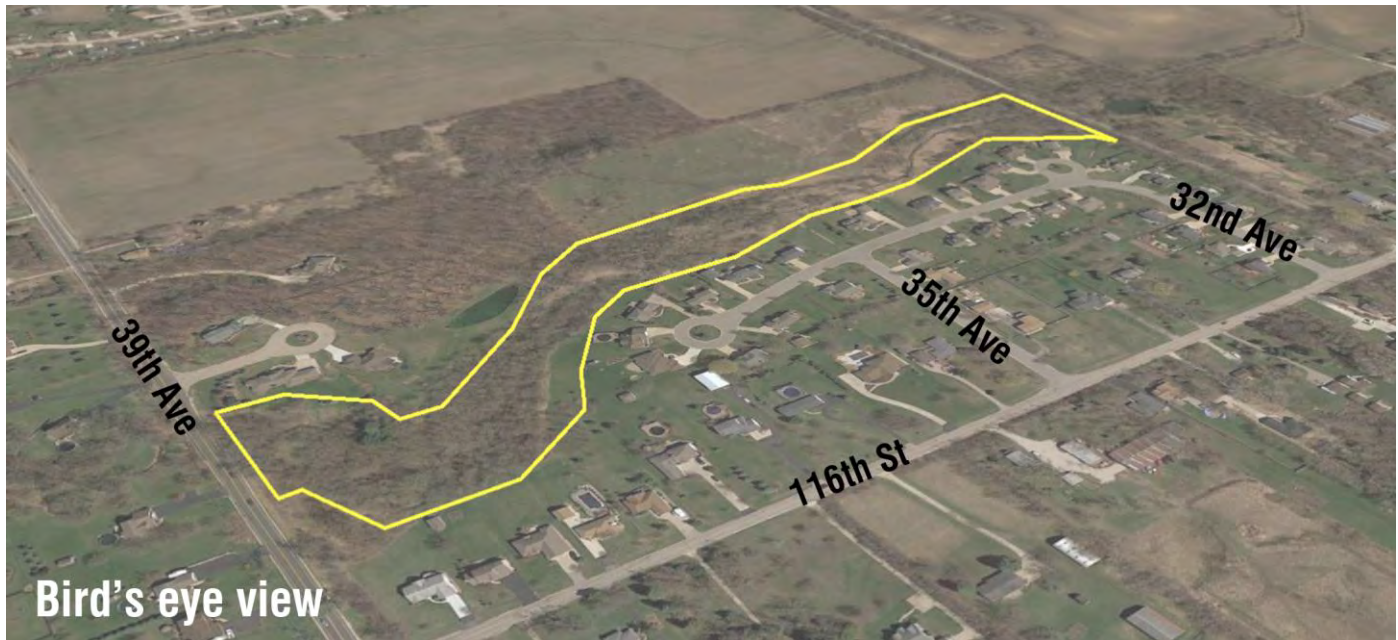
- None





## County Corner – Tobin Creek Open Space

### Site Photos:





# Des Plaines River Open Space Land

The Des Plaines River Open Space consists of over 650 acres of non-contiguous, environmental corridor land on the east side of the Village. The open space contains portions the Des Plaines River and adjacent floodplains, wetlands and wildlife habitats.

**Existing Facilities:**

- Natural/conservancy areas
- Boardwalk
- Natural surface trail
- Interpretive signage
- Trail & regulatory signage
- Small pavilion

**Issues:**

- None



**CONSERVANCY,**



**OPEN SPACE & NATURAL AREAS**

**Improvement Options & Estimate**

- Expand trail network. Explore possibility of a multi-use trail from Hwy 165 through open space into Kenosha. (Per Bicycle and Pedestrian Plan) .....\$500,000

**TOTAL \$500,000**





# Des Plaines River Open Space Land

## Site Photos:



Natural area



Natural area



Boardwalk



Interpretive signage



Boardwalk



Jerome Creek





Edithton Beach is located on Lakeshore Drive, north of 102<sup>nd</sup> Street and adjacent to Lake Michigan. There are no existing facilities aside from a park bench.

#### Existing Facilities:

- Open space
- Bench

#### Issues:

- None



CONSERVANCY,



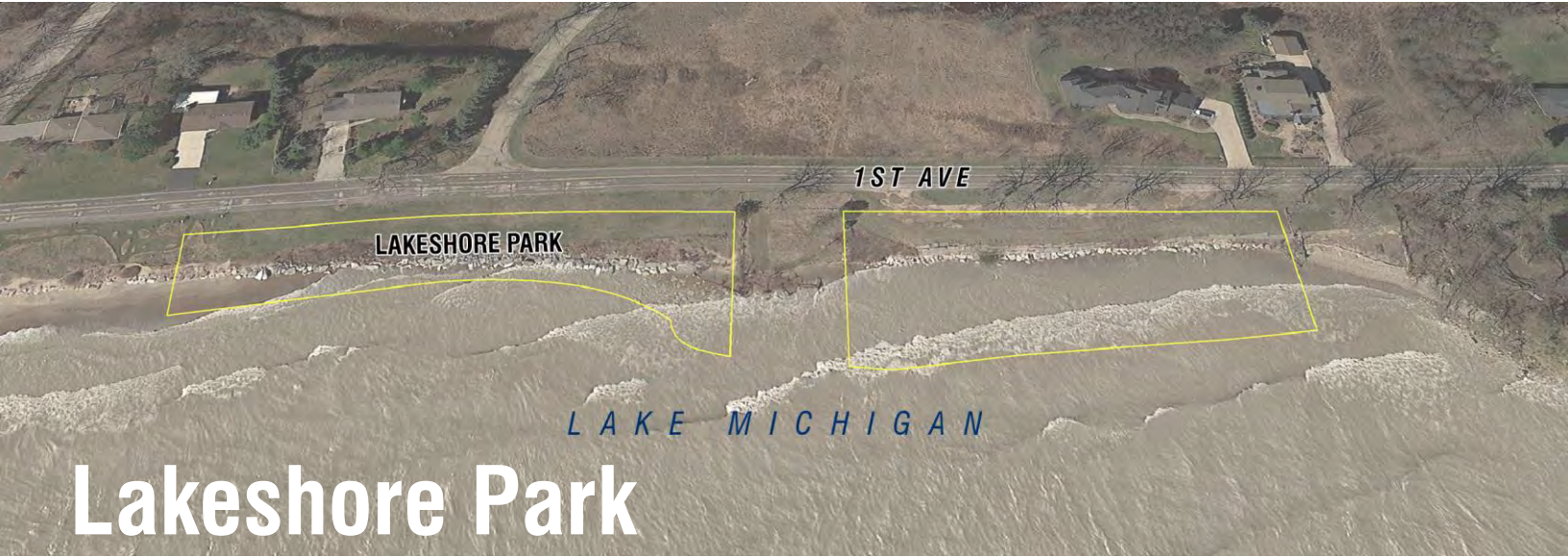
OPEN SPACE &  
NATURAL AREAS

#### Improvement Options & Estimate

- Refer to the 2018 Pleasant Prairie Shoreline Assessment to confirm the feasibility of improvement options and for potential shoreline protection improvements.







This park land is located on Lakeshore Drive north of 107<sup>th</sup> Street and adjacent to Lake Michigan. There are currently no recreational facilities.

**Existing Facilities:**

- Gravel drive
- Trash receptacle
- Park rules signage

**Issues:**

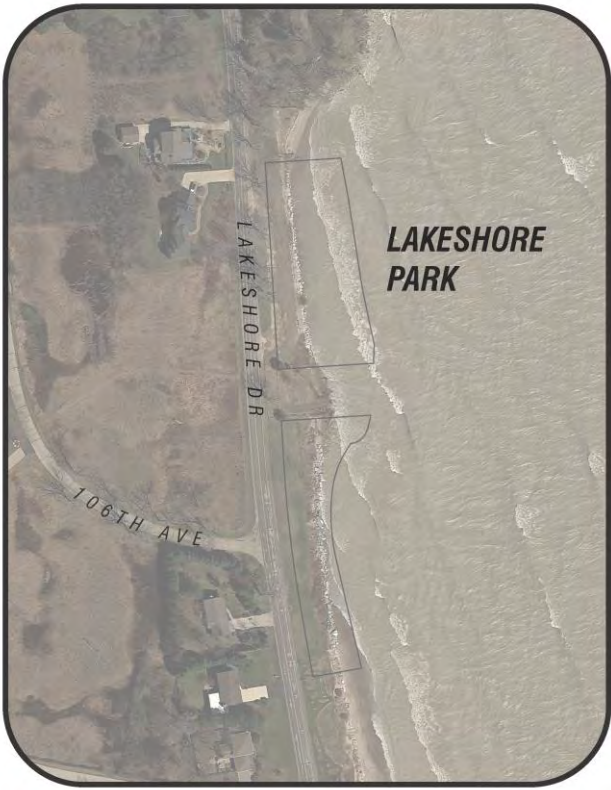
- None



**Improvement Options & Estimate**

- Benches (2) .....\$3,000
- TOTAL \$3,000**

\*Refer to the 2018 Pleasant Prairie Shoreline Assessment to confirm the feasibility of improvement options and for potential shoreline protection improvements.





# Momper’s Woods

This is a 26.6-acre natural area located on Green Bay Road approximately one-half mile south of 104<sup>th</sup> Street. Archaeological findings on the site have revealed the remnants of Native American campsites and a historical trail. The area is not currently open to the public but future plans for the site include preservation and development of the site as an educational nature center.

**Existing Facilities:**

- Natural/conservancy areas
- Archeological site
- Natural surface trails
- Historical landmark boulder

**Issues:**

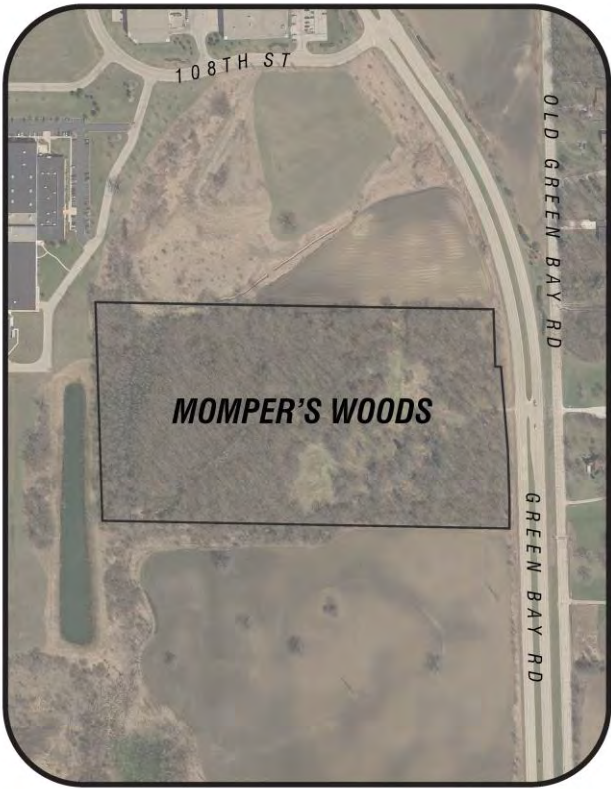
- Closed to public
- Poor accessibility



**Improvement Options & Estimate**

- Install small parking area adjacent to Green Bay Rd .....\$40,000
- Expand natural surface trail network, install interpretive signage .....\$15,000
- Open park to public ..... \$0

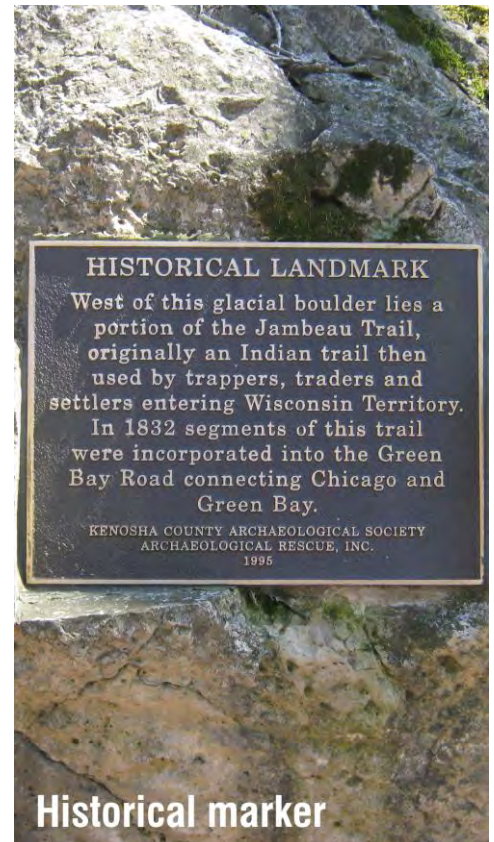
**TOTAL \$55,000**





## Momper's Woods

### Site Photos:





# Prairie Trails West Open Space

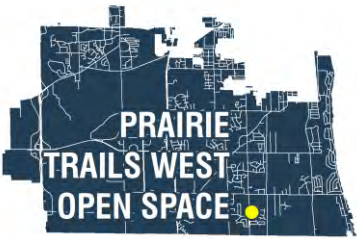
Prairie Trails West Open Space is a 7.9-acre wetland natural area on 39<sup>th</sup> Avenue north of 122<sup>nd</sup> Street.

**Existing Facilities:**

- Natural/conservancy areas

**Issues:**

- Poor accessibility



**CONSERVANCY,**



**OPEN SPACE & NATURAL AREAS**

**Improvement Options & Estimate**

None





# Prairie Trails West Open Space

## Site Photos:







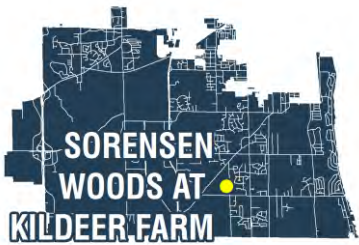
This 4.5-acre conservancy land is located on 47<sup>th</sup> Avenue, 1,000 feet north of 116<sup>th</sup> Street and is not currently open to the public. The land is intended to be restored as an oak savanna area as it was prior to 1835.

**Existing Facilities:**

- Natural/conservancy areas

**Issues:**

- Closed to public
- Poor accessibility



**CONSERVANCY,**



**OPEN SPACE & NATURAL AREAS**

**Improvement Options & Estimate**

- Install small parking area adjacent to 47<sup>th</sup> Ave .....\$40,000
- Create natural surface trail network .....\$20,000
- Open park to public ..... \$0

**TOTAL \$60,000**





# Sorensen Woods at Kildeer Farm

## Site Photos:











## 4 IMPLEMENTATION

The previous chapter of this report detailed a number of specific improvement options. This chapter provides the mechanism for implementing them. It includes a compilation of capital improvements, park development mechanisms and funding sources. The chapter also includes the process for adopting, monitoring and updating this plan.

### 4.1 Plan Approval and Amendments

#### Introduction

A prerequisite to participation in outdoor recreation grant programs is the adoption and subsequent Department of Natural Resources acceptance of a local park and open space plan.

Comprehensive planning is an overall survey of the existing facilities within a given jurisdiction that gives recommendations for future improvements. A park and open space plan is only the first step in the development of a recreational park site or system.

Master planning, which follows the recommendations of park and open space plan, is an overall view and analysis of an existing or proposed park area. The purpose is to guide the orderly development of a park or recreational facility.

Site planning is the detailed plan of how an area within a park or recreation area will be developed. Site plans supply the construction details needed to develop a facility recommended in the master plan.

This plan provides strategies and recommendations for improving public parks in Pleasant Prairie. It is anticipated that master planning for community parks and proposed parks is a high priority and should be featured prominently when budgets are determined over the life of this plan.

#### Formal Plan Approval

This Park and Open Space Plan should be approved by the local governing body after thorough review by the Park Commission and Village Board. The Village should follow all rules and procedures established in the citizen participation plan adopted as part of the comprehensive planning process (per State Statute 66.1001) when adopting this plan.

#### Amending the Plan

Plan amendments are common and should be considered part of the planning process. They frequently represent good implementation or plan usage and should be acceptable for consideration by local decision-makers. Amendments must follow the same process as the original plan and should be developed in coordination with the Park Commission before they are presented to the Village Board for approval. Amendments generally prolong the effectiveness of the parent plan.

The Pleasant Prairie Park and Open Space Plan will make the Village eligible for funding through the Wisconsin Department of Natural Resources through the year 2023. Since this plan was developed with a five-year timeframe, it should be amended in 2023 to ensure grant eligibility and to reflect progress made over time.

## 4.2 Park Acquisition and Development Mechanisms

### 4.2.1 User Groups

Pleasant Prairie should coordinate with potential user groups when planning new facilities to see if cost-sharing, donation or outright purchase options exist. Groups that could potentially be involved include youth sports groups, private organizations and the school district.

### 4.2.2 Planned Giving

In many communities, parkland development occurs with the availability of land. Donations of private land for a public purpose is not uncommon, and criteria for accepting these lands is needed. A formal procedure should be in place for how the land will be planned and used in the best interest of the community. A planned giving program through the Village would allow prospective patrons to dedicate land in a legal manner that provides a legacy for how the land will be utilized over time.

### 4.2.3 Grant Funding

Implementation dollars are available for acquisition and development of recreation spaces and facilities. Linear parks and trails can be funded through the Wisconsin Department of Natural Resources (WDNR) or the Department of Transportation (WDOT). The WDNR also provides monies for the acquisition of lands, the stabilization of shorelands and the protection of environmentally sensitive areas. A complete list of grant opportunities is provided in Section 4.3.

## 4.3 Grant Information for Park Acquisition and Development

The state and federal government provides grants to local governments for the acquisition and development of parks. Many of these programs require that a local government submit an approved park and open space plan or master plan to the Wisconsin DNR as a condition for eligibility. By adopting this Park and Open Space Plan, by ordinance, the Village of Pleasant Prairie will have met the eligibility requirement for these grant programs until 2023.

### 4.3.1 Projects that Require Grant Funding

The high cost of park improvement projects necessitates the acquisition of outside funding to enable development. Grant funding provides seed money and crucial capital for leveraging additional community dollars and support. While many projects identified in this plan would benefit from the acquisition of outside funding sources, some projects will require grant funding if they are to be realized. Grant programs are discussed in the following section (4.3.2).

### 4.3.2 Grant Programs

This section provides general information and details for many of the grant programs that may be used to acquire and develop local park facilities, linear trails or beaches. Categories, by authorization agency, include:

- Wisconsin Department of Natural Resources
- Wisconsin Department of Transportation
- Wisconsin Department of Administration
- Other Programs (Various Agencies)

#### ***Wisconsin Department of Natural Resources (WDNR)***

**Knowles-Nelson Stewardship Program:** Named for two of Wisconsin's most revered conservation leaders, Governor Warren Knowles and Senator Gaylord Nelson, the Wisconsin Legislature created this innovative program in 1989 to preserve valuable natural areas and wildlife habitat, protect water quality and fisheries, and expand opportunities for outdoor recreation.

All grant program awards cover up to 50% of eligible project costs. Projects eligible for Stewardship grant programs require that all land acquisition and development projects provide public access for “nature-based outdoor recreation” purposes. DNR decisions as to whether a particular project activity is “nature-based outdoor recreation” are made on a case-by-case basis. Please note that purchase and installation of playground equipment and the purchase of land for



recreation areas not related to nature-based outdoor recreation (dedicated sports fields, swimming pools, etc.) are not eligible.

For more information and to submit applications contact the Southeast Region representative (listed below). All applications are due May 1.

Sara deBruijn  
Telephone: (414) 263-8704

Email: sara.debruijn@wisconsin.gov

The Stewardship Program includes the four funds described below (A – D).

### **A. Acquisition and Development of Local Parks (ADLP)**

Description: Stewardship sets aside 50% of funds for projects that improve community parks and acquire land for public outdoor recreation. Applicants compete against other applicants from their region. Funds may be used for both land acquisition projects and development projects for nature-based outdoor recreation such as fishing piers, hiking trails and picnic facilities. Funds are not available for non-nature based activities such as baseball and soccer fields. Costs associated with operation and maintenance of parks and other outdoor recreation facilities are not eligible for Stewardship funds.

#### Eligible Project Examples:

1. Land acquisition projects that will provide opportunities for nature-based outdoor recreation.
2. Property with frontage on rivers, streams, lakes, estuaries and reservoirs that will provide water-based outdoor recreation.
3. Property that provides special recreation opportunities such as floodplains, wetlands and areas adjacent to scenic highways.
4. Natural areas and outstanding scenic areas where the objective is to preserve the scenic or natural values, including areas of physical or biological importance and wildlife areas. These areas shall be open to the general public for outdoor recreation use to the extent that the natural attributes of the areas will not be seriously impaired or lost.
5. Land within urban areas for day-use picnic areas.
6. Land for nature-based outdoor recreation trails.

#### Ineligible Project Examples:

1. Projects that are not supported by a local comprehensive outdoor recreational plan.
2. Land to be used for non-nature based outdoor recreation such as athletic facilities.
3. Acquisition and development of golf courses.

### **B. Urban Rivers (UR)**

Description: Stewardship allocates 20% of funds annually to restore or preserve the character of urban riverways through the acquisition of land or easements adjacent to rivers. Funding will be provided for projects that are part of a plan to enhance the quality of a river corridor. Applicants compete against other applicants statewide. The purposes of the program are:

1. To provide for economic revitalization through the restoration or preservation of urban rivers or riverfronts;
2. To improve outdoor recreational opportunities by increasing access to urban rivers for a variety of public uses, including but not limited to fishing, wildlife observation, enjoyment of scenic beauty, canoeing, boating, hiking and bicycling;
3. To preserve or restore significant historical, cultural or natural areas along urban rivers.

Funding Priorities: Priority is given to projects that have one or more of the following characteristics:

1. Acquires land or land rights that preserve or restore natural values, including aesthetic values, and enhance environmental quality along urban waterways.

2. Provides new or expanded diverse recreational opportunities to all segments of urban populations.
3. Provides new or expanded access to urban waterways.
4. Acquires blighted lands that will be restored to complement riverfront redevelopment activities.
5. Encourages comprehensive riverway planning within and between municipalities and other agencies.
6. Provides opportunities for increasing tourism.
7. Acquires lands that through proper management will improve or protect water quality.

### **C. Urban Green Space (UGS)**

Description: The intent of the Urban Green Space Program (UGS) is to provide open natural space within or in proximity to urban areas; to protect from urban development areas that have scenic, ecological or other natural value and are within or in proximity to urban areas; and to provide land for noncommercial gardening for the residents of an urbanized area.

Funding Priorities: Priority is given to projects that have one or more of the following characteristics:

- a. Planning considerations, including:
  - Specifically implementing a priority of the Statewide Comprehensive Outdoor Recreation Plan
  - Implementing the approved master plans of 2 or more units of government or regional planning agencies
  - Preserving land that is listed on the natural heritage inventory database
  - Implementing elements of water quality plans or initiatives
- b. Project considerations, including:
  - Serving the greatest population centers
  - Serving areas of rapidly increasing populations
  - Providing accessibility
  - Having unique natural features, threatened/endangered species or significant ecological value
  - Providing open natural linear corridors connecting open natural areas
  - Having water frontage
  - Containing or restoring wetlands
  - Protecting sensitive wildlife habitat
  - Protecting an area threatened by development
  - Preserving a natural community or one that could be restored
  - Having regional or statewide significance
  - Relating to brownfield redevelopment
- c. Administrative considerations, including:
  - Projects that are ready to be implemented and/or to continue previously started projects

### **D. Acquisition of Development Rights**

Description: The purpose of the Acquisition of Development Rights Program is to protect natural, agricultural or forest lands that enhance nature-based outdoor recreation. "Development Rights" are the rights of a landowner to develop their property to the greatest extent allowed under state and local laws. The goals of the program are achieved through the purchase of those development rights and compensating landowners for limited future development on their land.

Funding Priorities: Priority is given to projects that have one or more of the following characteristics:

- Property with frontage on rivers, streams, lakes or estuaries
- Property that creates a buffer between land that has been permanently protected for natural resource and conservation purposes and potential or existing residential, commercial or industrial development
- Property that is within the boundaries of an acquisition project established by the DNR, a government unit or a non-profit conservation organization where the uses of the property will complement the goals of the project and the stewardship program
- Property that is within an environmental corridor that connects two or more established resource protection areas

**Federal Programs Related to the Stewardship Program:** The Land and Water Conservation Fund (LWCF) and Recreational Trails Act (RTA) programs fund projects that are similar to the Stewardship programs. One primary difference



is that LWCF and RTA programs are not restricted to nature-based outdoor recreation projects. In these programs, nature-based outdoor recreation projects compete against projects with non-nature based recreation elements for LWCF funds. Another difference is that federal programs have additional requirements that must be satisfied – for example, compliance with the National Environmental Policy Act, the Historic Preservation Act, etc. Federal programs administered through the DNR include the two funds described below (E, F).

### **E. Land and Water Conservation Fund (LWCF)**

Description: This program was established to encourage nationwide creation and interpretation of high quality outdoor recreational opportunities. The program funds both state and local outdoor recreation activities.

Funding Priorities: Priority is given to projects that have one or more of the following characteristics:

- Relationship to the Statewide Comprehensive Outdoor Recreation Plan; activities must be in locally approved plans
- Regional or statewide in nature
- Acquires land where a plan supports need
- Provides or enhances water-based activity
- Serves the greatest populations
- Involves other local government cooperation, volunteers, local donations
- First time applicants
- Sponsor has completed past projects
- Provides multi-season, multi activity use
- Basic, over elaborate, facilities
- Participant over spectator facilities
- “Nature based” restriction does not apply

Eligible Project Examples:

- Land acquisition
- Development of outdoor recreation facilities, including active sports facilities

### **F. Recreational Trails Act (RTA)**

Description: These funds are used to develop and maintain recreational trails and trail-related facilities for both motorized and non-motorized recreational trail uses. RTA funds may only be used on trails which have been identified in or which further a specific goal of a local, county or state trail plan included or referenced in a statewide comprehensive outdoor recreation plan. 30% of funds must be used on motorized trail uses, 30% on non-motorized trail uses and 40% on diversified (multiple) trail uses.

Funding Priorities: Priority is given to projects that have one or more of the following characteristics:

- Maintenance and restoration of existing trails.
- Development and rehabilitation of trailside and trailhead facilities and trail linkages.
- Construction of new trails (with certain restrictions on Federal lands).
- Acquisition of easement or property for trails.

### ***Wisconsin Department of Transportation (WisDOT)***

The Wisconsin Department of Transportation offers a variety of programs that can provide financial assistance to local governments, along with other public and private entities, to make improvements to highways, airports, harbors, bike, rail and pedestrian facilities. The use of these funds in Pleasant Prairie would be most closely tied to developing trails to link parks to places of employment, residence and commerce.

### **G. Surface Transportation Program – Urban (STP-U)**

Description: This program allocates federal funds to complete a variety of improvements to federal-aid-eligible roads and streets in urban areas. Projects must meet federal and state requirements. Communities are eligible for funding on roads functionally classified as major collector or higher. The WisDOT requires that pedestrian and on-street bicycle

accommodations be part of all STP projects within or in the vicinity of population centers, unless extraordinary circumstances can be demonstrated to WisDOT for not providing these accommodations.

Contact: Robert Schmidt, Southeast Region at (262)548-8789 or robert1.schmidt@dot.wi.gov

## **H. Transportation Alternatives Program (TAP)**

Description: The Transportation Alternatives Program (TAP) allocates federal funds to transportation improvement projects that “expand travel choice, strengthen the local economy, improve the quality of life, and protect the environment.” TAP is a legislative program that was authorized in 2012 by the federal transportation legislation, Moving Ahead for Progress in the 21st Century Act (MAP-21). The transportation alternatives program provides for the implementation of a variety of non-traditional projects, with examples ranging from the restoration of historic transportation facilities, to bike and pedestrian facilities, to landscaping and scenic beautification, and to the mitigation of water pollution from highway runoff. Examples of bicycle and pedestrian projects that TAP will likely fund include: multi-use trails, paved shoulders, bike lanes, bicycle route signage, bicycle parking, overpasses/underpasses, bridges, sidewalks and pedestrian crossings. Local municipalities contribute 20% of the project costs. Federal regulations restrict the use of funds on trails that allow motorized users, except snowmobiles.

Contact: Tanya Iverson, State Coordinator at (608) 266-2574, tanya2.iverson@dot.wi.gov or Robert Schmidt, Southeast Region at (262)548-8789 or robert1.schmidt@dot.wi.gov

Deadline: the next application cycle expected to open in the fall of 2019

## ***Wisconsin Department of Administration***

### **I. Community Development Block Grant – Public Facilities (CDBG-PF)**

Description: Available through the Wisconsin Department of Administration (DOA), communities receiving CDBG funds from the State may use the funds for many kinds of community development activities including, but not limited to:

- Acquisition of property for public purposes
- Construction or reconstruction of streets, water and sewer facilities, neighborhood centers, recreation facilities and other public works
- Demolition
- Rehabilitation of public and private buildings
- Public services
- Planning activities
- Assistance to nonprofit entities for community development activities
- Assistance to private, for profit entities to carry out economic development activities (including assistance to micro-enterprises)

Contact: Tom Clippert (BCD Director) at (608) 261-7538

## ***Other Programs***

### **J. 10-Minute Walk Planning Grants**

Description: The 10-Minute Walk campaign is a National Recreation and Park Association program that offers grants to support park related planning efforts in communities. The goal of this program is to increase access to parks in chosen communities that are within a 10-minute walk. The first round of \$40,000 grants were awarded on April 1, 2018 with additional application periods expected in the future.

To qualify for the 10-Minute Walk grants the applicant must:

- Be a local government park and recreation agency
- Provide a signed statement of support for the 10-Minute Walk Campaign from the Mayor of the applicant City
- Provide a signed statement of support from at least two partners on the project (outside of parks and recreation)



- Demonstrate a clear interest and commitment to the campaign, strong project management, and leadership support

Contact: 10minutewalk@nrpa.org

### **K. KaBOOM! Grants**

Description: KaBOOM! is a national non-profit partnered with businesses such as Home Depot that awards grants for playground development. KaBOOM! accepts applications for grants on a rolling basis from child serving non-profit organizations, schools and municipalities.

Applicants with the best chance of receiving grants will:

- Serve children from a low-income area, serve children with special needs or serve children in a disaster impacted area
- Demonstrate the need for a playground
- Have a space that does not currently have a playground or have a playground that needs to be replaced
- Will implement a community-build model to engage the larger community in all aspects of project planning and playground build execution

Contact: Grant applications can be filled out at the KaBOOM! website; [kaboom.org](http://kaboom.org)

### **L. Foundation Grants**

Anthem Foundation – Provide grants to communities to support health related programs.

Clif Bar Family Foundation – Provides grants for projects that increase opportunities for outdoor activity, reduce environmental health hazards and build stronger communities.

National Environmental Education Foundation – Awards grants for the promotion of a safer and healthier environment.

Tony Hawk Foundation – Grants provided for the creation of skateparks.

U.S. Bank Foundation Community Grant Program – Grant support for play spaces for K-12 students in low to moderate income areas.

The U.S. Soccer Foundation – A grant program that supports soccer programs and field construction.

Youth Outside – Provide grants to promote nature based outdoor experiences to children.

### **M. Online Grant Provider Lists**

- |   |   |
|---|---|
| • Fundsnet Services                     | • Grantmakers in Aging                        |
| • SPARK Grant Finder                    | • NPRA Grant Resources                        |
| • The Grant Helpers                     | • Grants.gov                                  |
| • Afterschool Alliance Funding Database | • American Therapeutic Recreation Association |
| • Federal Grantswire                    |   |

### **N. Purchasing Partnerships**

Description: Some equipment suppliers will allow multiple municipalities to make group purchases of equipment. Details of this type of agreement vary between manufacturers, but the result will often be a reduced cost to the purchasing

municipalities. Examples include Buy Board <https://www.buyboard.com/> and US Communities <http://www.uscommunities.org/>.

### **O. Friends of the Park Foundation**

**Description:** The National Association of Park Foundations helps communities create Friend of the Park Foundations for their local park system. An annual fee for membership can be used to fund park projects. Membership in the foundation includes educational programs, advocacy, networking opportunities and other information related to local parks.

## **4.4 Capital Improvements Plan**

Capital improvements to a park are the addition of labor and materials that improve the overall value and usefulness of that park. Capital improvements are designated and funded individually through segregated municipal funds. Routine maintenance, on the other hand, is considered to be the repair and upkeep of existing park facilities, such as painting a shelter building. Routine maintenance of park facilities does not appreciably increase the value or usefulness of the park, and is traditionally funded through the park department's operations budget. Non-routine maintenance of park facilities, such as upgrading a toilet facility to be barrier-free, is usually considered to be a capital improvement.

Most projects can be easily identified and categorized, but some are difficult. When a project falls on the borderline between a capital improvement and maintenance, the overall cost becomes the determinant. Projects with a high cost, such as that for seal coating roads or parking lots, are categorized as capital improvements.

The capital improvements program for each park is a combination of several types of projects. These projects are ranked according to their importance and priority in the overall development of the park and the value of the project to the overall Village park system. Capital improvements for this plan are ranked in the following manner:

- a. Improvements to existing facilities that will:
  - i. Correct health and safety hazards
  - ii. Upgrade deficient facilities
  - iii. Modernize adequate but outdated facilities
- b. Installation of facilities as deemed appropriate and necessary through public demand (public meetings, park committee input, Village budgeting)
- c. Development of new facilities as deemed necessary through level of service, population projection, and age cohort analyses

Generally, improvements to existing facilities rank the highest in the capital improvements program. New facilities are usually ranked lower, according to their relative need in each park location. Improvements that correct health and safety hazards are always given the highest priority. Improvements that are deemed necessary through empirical analyses are usually ranked the lowest.

Parks have been divided by classifications established by the National Recreation and Park Association (NRPA) including Mini, Neighborhood, Community, Conservancy, and Special Use parks. Improvement costs are shown by year (2019-2023) which establishes a priority ranking – higher priority improvements would occur sooner in the schedule. In some cases a capital improvement may utilize a special fund. When this occurs, the improvement contains an identifier citing that particular funding source. Depending on the fund, it may or may not be reflected in the subtotal for each park type.

Potential costs for site master plans have not been included in the Capital Improvement Plan (CIP) table but should be accounted for the budget planning. Depending on the level of public involvement and final deliverables, the Village should anticipate a cost of \$15,000-\$25,000 for each site Master Plan. It should also be noted that if the Village brings on new parklands, the required maintenance for these new facilities will also carry a long-term cost implication. A basic mini-park for example will require at minimum, weekly mowing. Neighborhood and community parks will require mowing, snow



removal, playground maintenance and potentially other monthly or annual upkeep depending on the level of facility development.

The total improvement cost by park classification and by year is assembled in Table 4. Costs associated with each park improvement option are based upon recent regional project construction costs and may be spread out over many years.

Table 4: Total Improvement Costs by Year and Park Classification

	2019	2020	2021	2022	2023	Grand Total
<b>MINI PARKS</b>						
Subtotal	\$13,000	\$5,000	\$0	\$164,325	\$0	\$182,325
<b>NEIGHBORHOOD PARKS</b>						
Subtotal	\$14,500	\$57,500	\$2,563	\$18,900	\$172,000	\$265,463
<b>COMMUNITY PARKS</b>						
Subtotal	\$16,500	\$55,000	\$198,850	\$423,150	\$21,500	\$715,000
<b>REGIONAL PARKS</b>						
Subtotal	\$8,000	\$27,500	\$71,750	\$420,000	\$0	\$527,250
<b>SPECIAL USE PARKS</b>						
Subtotal	\$2,000	\$0	\$10,250	\$0	\$107,500	\$119,750
<b>CONSERVANCY PARKS</b>						
Subtotal	\$0	\$58,000	\$64,575	\$0	\$537,500	\$660,075
<b>ALL PARKS</b>						
Subtotal	\$54,000	\$203,000	\$347,988	\$1,026,375	\$838,500	\$2,469,863

Detailed CIP tables by individual park can be found on the following pages.

	2019	2020	2021	2022	2023	Grand Total
<b>MINI PARKS</b>						
<b>Becker Park</b>						
Remove and replace playground equipment (play structure, swings, sandbox, bench and safety surfacing)				\$150,000		
Remove dead tree	\$2,000					
Install concrete or asphalt path to play equipment and picnic table				\$2,000		
Install recycling receptacles	\$1,000					
Subtotals	\$3,000	\$0	\$0	\$152,000	\$0	\$155,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 3,000	\$ -	\$ -	\$ 159,600	\$ -	\$ 162,600
<b>Creekside Park (South)</b>						
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment		\$3,000				
Install trash & recycling receptacles	\$2,000					
Install concrete or asphalt path to play equipment and picnic table				\$1,500		
Install ADA accessible picnic table	\$1,500					
Remove and/or replace playground sign	\$500					
Subtotals	\$4,000	\$3,000	\$0	\$1,500	\$0	\$8,500
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 4,000	\$ 3,000	\$ -	\$ 1,575	\$ -	\$ 8,575
<b>Woodlawn (Harrison) Park</b>						
Resolve drainage issues	\$5,000					
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment				\$3,000		
Install concrete or asphalt path to play equipment		\$2,000				
Install recycling receptacle	\$1,000					
Subtotals	\$6,000	\$2,000	\$0	\$3,000	\$0	\$11,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 6,000	\$ 2,000	\$ -	\$ 3,150	\$ -	\$ 11,150
<b>MINI PARKS</b>						
Subtotal	\$13,000	\$5,000	\$0	\$164,325	\$0	\$182,325

	2019	2020	2021	2022	2023	Grand Total
<b>NEIGHBORHOOD PARKS</b>						
<b>Carol Beach Park</b>						
Remove and replace playground equipment (play structure, swings, sandbox, benches and safety surfacing)					\$150,000	
Resolve drainage issue in parking lot		\$10,000				
Install drinking fountain		\$10,000				
Install concrete or asphalt path from parking lot to park amenities				\$8,000		
Remove dead/dying tree with broken limbs overhanging playground	\$5,000					
Skin and resurface infield				\$5,000		
Replace picnic tables with ADA approved models		\$4,500				
Repair park shelter		\$3,000				
Repair/replace park sign	\$3,000					
Install recycling receptacles (2)	\$2,000					
Paint lines on basketball court				\$2,000		
Stripe parking stalls				\$1,500		
Install bike rack on hardscape surface				\$1,500		
Remove graffiti	\$1,000					
Cap end of team benches	\$500					
Subtotals	\$11,500	\$27,500	\$0	\$18,000	\$150,000	\$207,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 11,500	\$ 27,500	\$ -	\$ 18,900	\$ 161,250	\$ 219,150
<b>Rolling Meadows Park</b>						
Add small parking area along 32nd Ave to accommodate two to three cars		\$30,000				
Install ADA approved drinking fountain					\$10,000	
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment	\$2,000					
Install bike rack on hardscape surface			\$1,500			
Install recycling receptacle	\$1,000					
Connect path to playground			\$1,000			
Subtotals	\$3,000	\$30,000	\$2,500	\$0	\$10,000	\$45,500
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 3,000	\$ 30,000	\$ 2,563	\$ -	\$ 10,750	\$ 46,313
<b>NEIGHBORHOOD PARKS</b>						
Subtotal	\$14,500	\$57,500	\$2,563	\$18,900	\$172,000	\$265,463



	2019	2020	2021	2022	2023	Grand Total
<b>COMMUNITY PARKS</b>						
<b>Ingram Park</b>						
Construct shelter/restroom building			\$125,000			
Install ADA approved drinking fountain					\$10,000	
Add community garden					\$10,000	
Install bank stabilization/erosion control measures	\$5,000					
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment			\$3,000			
Re-paint parking lot striping	\$3,000					
Install recycling receptacles (2)	\$2,000					
Add access point at playground for park visitor approaching on the path from the south.				\$1,500		
Install bike rack at playground				\$1,500		
Subtotals	\$10,000	\$0	\$128,000	\$3,000	\$20,000	\$161,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 10,000	\$ -	\$ 131,200	\$ 3,150	\$ 21,500	\$ 165,850
<b>Pleasant Prairie Park</b>						
Remove softball fields and support components. Re-configure soccer fields.			\$30,000			
Develop a trail network with interpretive signage in natural area		\$25,000				
Install drinking fountain		\$10,000				
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment			\$3,000			
Install recycling receptacles (2)	\$2,000					
Replace basketball net(s)	\$0					
Move bike rack to a hardscape or gravel surface	\$0					
Subtotals	\$2,000	\$35,000	\$33,000	\$0	\$0	\$70,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 2,000	\$ 35,000	\$ 33,825	\$ -	\$ -	\$ 70,825
<b>Village Green Park</b>						
Install splashpad				\$400,000		
Beer garden		\$20,000				
Install youth baseball practice field (70' bases)			\$20,000			
Install drinking fountain			\$10,000			
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment			\$3,000			
Install recycling receptacles (2)	\$2,000					
Install bike rack on hardscape surface	\$1,500					
Fill and maintain playground woodchip level above bench footings	\$1,000					
Install basketball hoop nets	\$0					
Subtotals	\$4,500	\$20,000	\$33,000	\$400,000	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 4,500	\$ 20,000	\$ 33,825	\$ 420,000	\$ -	\$ 478,325
<b>COMMUNITY PARKS</b>						
Subtotal	\$16,500	\$55,000	\$198,850	\$423,150	\$21,500	\$715,000

	2019	2020	2021	2022	2023	Grand Total
<b>REGIONAL PARKS</b>						
<b>Prairie Springs Park</b>						
Replace 5 to 12 and 2 to 5 play structures in playground near south ballfields				\$175,000		
Construct concessions building near north ballfields				\$125,000		
Replace play structure and safety surfacing at the beach playground				\$100,000		
Install fitness stations with outdoor exercise equipment along the path throughout the park			\$50,000			
Install scoreboards on all four north ballfields		\$15,000				
Install safety mats at play equipment to provide safe fall zones and ADA access to play equipment			\$10,000			
Resolve drainage issues at Field #1, north ballfields			\$10,000			
Install recycling receptacles (8)	\$8,000					
Replace aging benches (4)		\$6,000				
Install additional bike racks throughout the park		\$6,000				
Repair trail map kiosk		\$500				
Subtotals	\$8,000	\$27,500	\$70,000	\$400,000	\$0	\$505,500
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 8,000	\$ 27,500	\$ 71,750	\$ 420,000	\$ -	\$ 527,250
<b>REGIONAL PARKS</b>						
Subtotal	\$8,000	\$27,500	\$71,750	\$420,000	\$0	\$527,250

	2019	2020	2021	2022	2023	Grand Total
<b>CONSERVANCY, OPEN SPACE &amp; NATURAL AREAS</b>						
<b>Chiwaukee Praire - Carol Beach Open Space</b>						
None						
Subtotals	\$0	\$0	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Chiwaukee View</b>						
Install benches (2)		\$ 3,000				
Investigate the possibility of expanding the park west of Lakeshore Dr and south of 116th St	-					
Subtotals	\$0	\$3,000	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ 3,000	\$ -	\$ -	\$ -	\$ 3,000
<b>County Corner - Tobin Creek Open Space</b>						
None						
Subtotals	\$0	\$0	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Des Plaines River Open Space Land</b>						
Expand trail network from Hwy 165 through open space into Kenosha					\$500,000	
Subtotals	\$0	\$0	\$0	\$0	\$500,000	\$500,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ -	\$ -	\$ 537,500	\$ 537,500
<b>Edithton Beach</b>						
None						
Subtotals	\$0	\$0	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Lakeshore Park</b>						
Install benches (2)			\$3,000			
Subtotals	\$0	\$0	\$3,000	\$0	\$0	\$3,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ 3,075	\$ -	\$ -	\$ 3,075
<b>Momper's Woods</b>						
Install small parking area adjacent to Green Bay Rd		\$40,000				
Expand natural surface trail network, install interpretive signage		\$15,000				
Open park to public	\$0					
Subtotals	\$0	\$55,000	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ 55,000	\$ -	\$ -	\$ -	\$ 55,000
<b>Prairie Trails West Open Space</b>						
None						
Subtotals	\$0	\$0	\$0	\$0	\$0	\$0
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
<b>Sorensen Woods at Kildeer Farm</b>						
Install small parking area adjacent to 47th Ave			\$40,000			
Create natural surface trail network			\$20,000			
Open park to public	\$0					
Subtotals	\$0	\$0	\$60,000	\$0	\$0	\$60,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ -	\$ -	\$ 61,500	\$ -	\$ -	\$ 61,500
<b>CONSERVANCY, OPEN SPACE &amp; NATURAL AREAS</b>						
Subtotal	\$0	\$58,000	\$64,575	\$0	\$537,500	\$660,075

	2019	2020	2021	2022	2023	Grand Total
SPECIAL-USE PARKS						
Lake Michigan Park						
Restore to natural dune condition and convert park to protected conservancy area. Maintain natural surface trails					\$100,000	
Resolve parking lot drainage issue			\$10,000			
Install recycling receptacles (2)	\$2,000					
Subtotals	\$2,000	\$0	\$10,000	\$0	\$100,000	\$112,000
Inflation	0.0%	0.0%	2.5%	5.0%	7.5%	
Totals	\$ 2,000	\$ -	\$ 10,250	\$ -	\$ 107,500	\$ 119,750
SPECIAL USE PARKS						
Subtotal	\$2,000	\$0	\$10,250	\$0	\$107,500	\$119,750





## Appendix A:

### Facilities Matrix

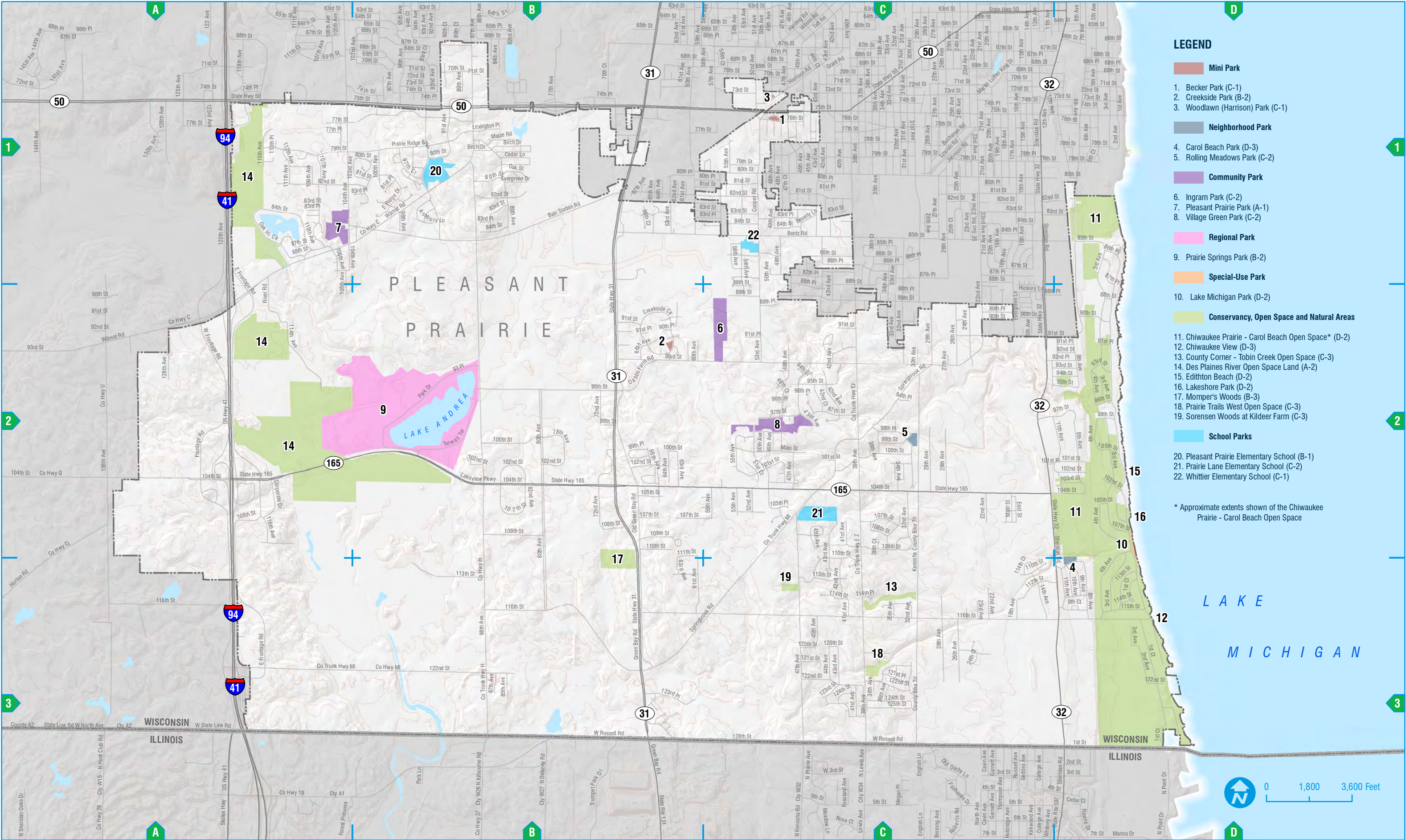




## Appendix B:

### Maps



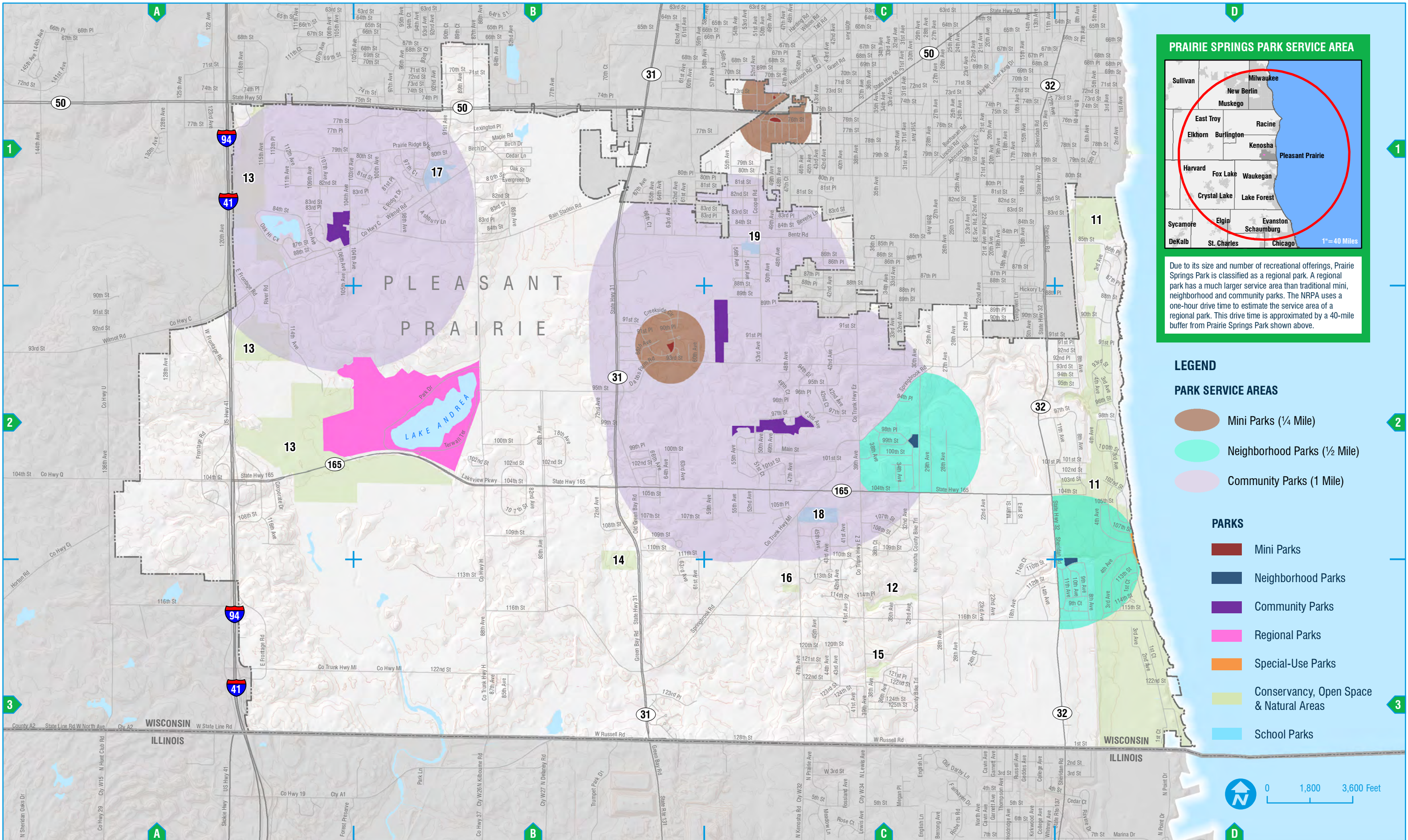


LEGEND

- Mini Park**
  - 1. Becker Park (C-1)
  - 2. Creekside Park (B-2)
  - 3. Woodlawn (Harrison) Park (C-1)
- Neighborhood Park**
  - 4. Carol Beach Park (D-3)
  - 5. Rolling Meadows Park (C-2)
- Community Park**
  - 6. Ingram Park (C-2)
  - 7. Pleasant Prairie Park (A-1)
  - 8. Village Green Park (C-2)
- Regional Park**
  - 9. Prairie Springs Park (B-2)
- Special-Use Park**
  - 10. Lake Michigan Park (D-2)
- Conservancy, Open Space and Natural Areas**
  - 11. Chiwaukee Prairie - Carol Beach Open Space\* (D-2)
  - 12. Chiwaukee View (D-3)
  - 13. County Corner - Tobin Creek Open Space (C-3)
  - 14. Des Plaines River Open Space Land (A-2)
  - 15. Edithon Beach (D-2)
  - 16. Lakeshore Park (D-2)
  - 17. Momper's Woods (B-3)
  - 18. Prairie Trails West Open Space (C-3)
  - 19. Sorensen Woods at Kildeer Farm (C-3)
- School Parks**
  - 20. Pleasant Prairie Elementary School (B-1)
  - 21. Prairie Lane Elementary School (C-2)
  - 22. Whittier Elementary School (C-1)

\* Approximate extents shown of the Chiwaukee Prairie - Carol Beach Open Space





**PRAIRIE SPRINGS PARK SERVICE AREA**

Due to its size and number of recreational offerings, Pleasant Springs Park is classified as a regional park. A regional park has a much larger service area than traditional mini, neighborhood and community parks. The NRPA uses a one-hour drive time to estimate the service area of a regional park. This drive time is approximated by a 40-mile buffer from Pleasant Springs Park shown above.

**LEGEND**

**PARK SERVICE AREAS**

- Mini Parks (¼ Mile)
- Neighborhood Parks (½ Mile)
- Community Parks (1 Mile)

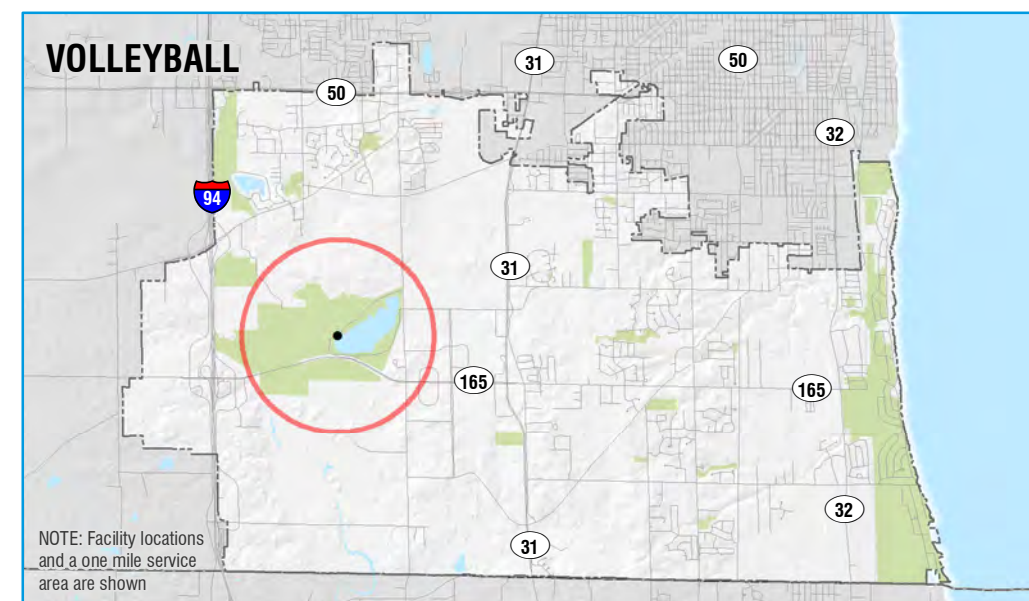
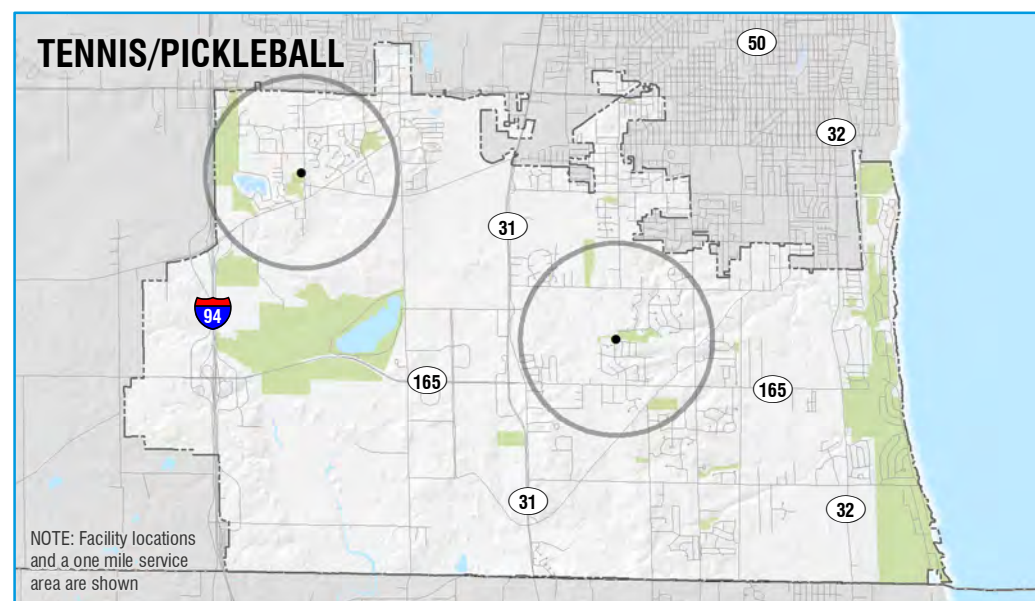
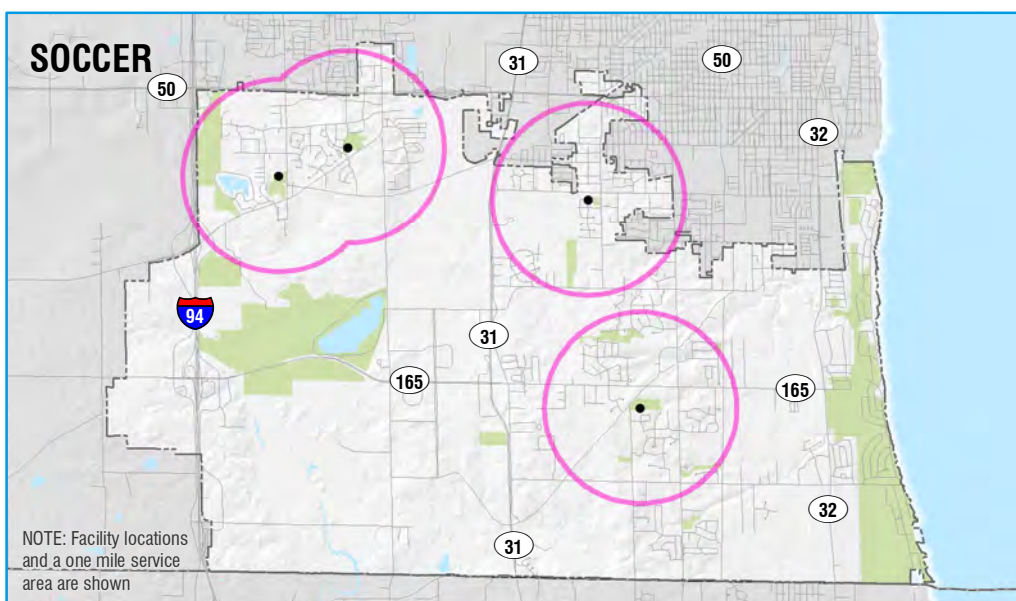
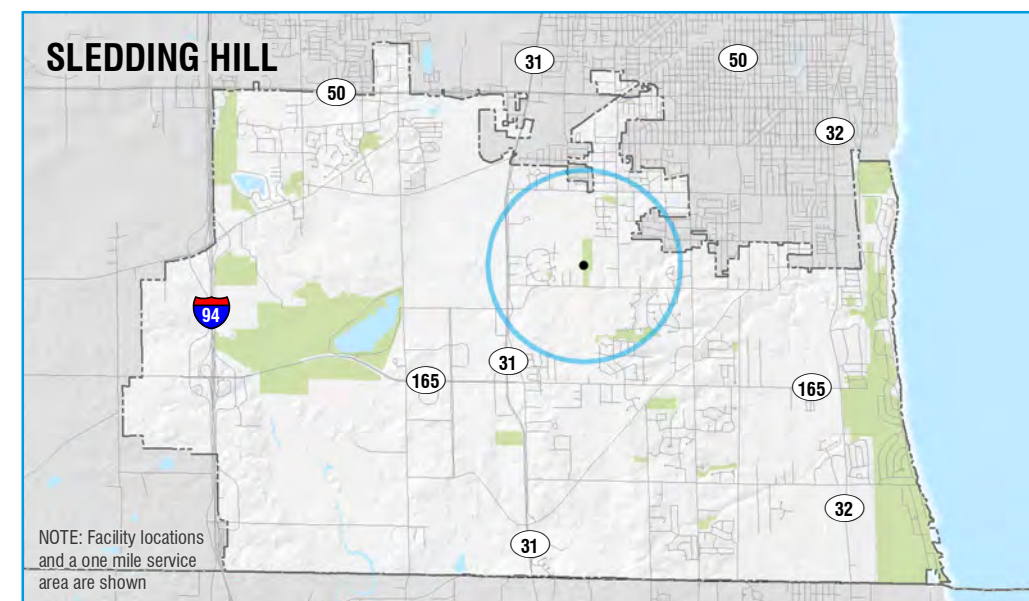
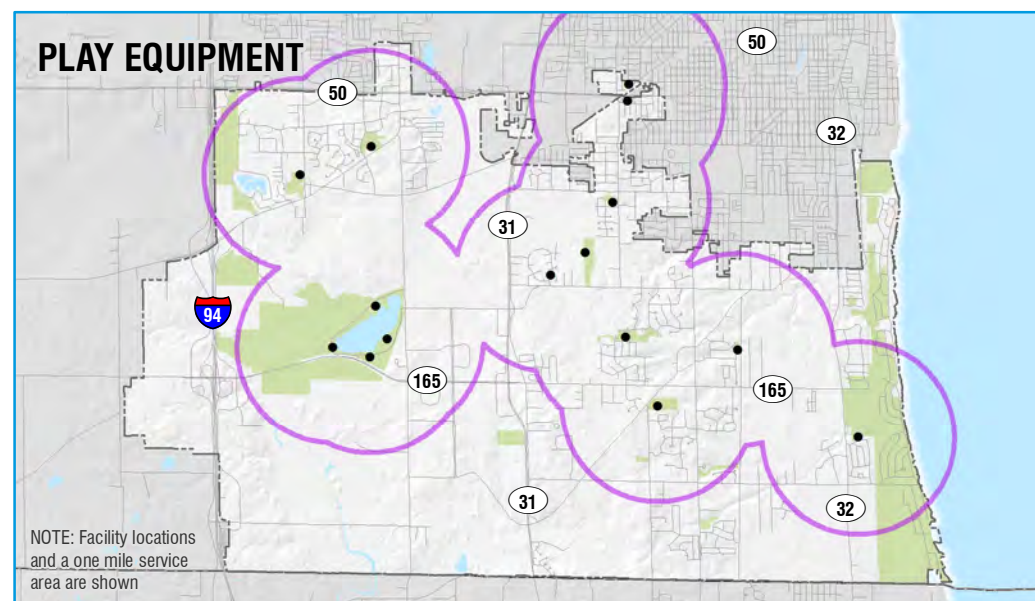
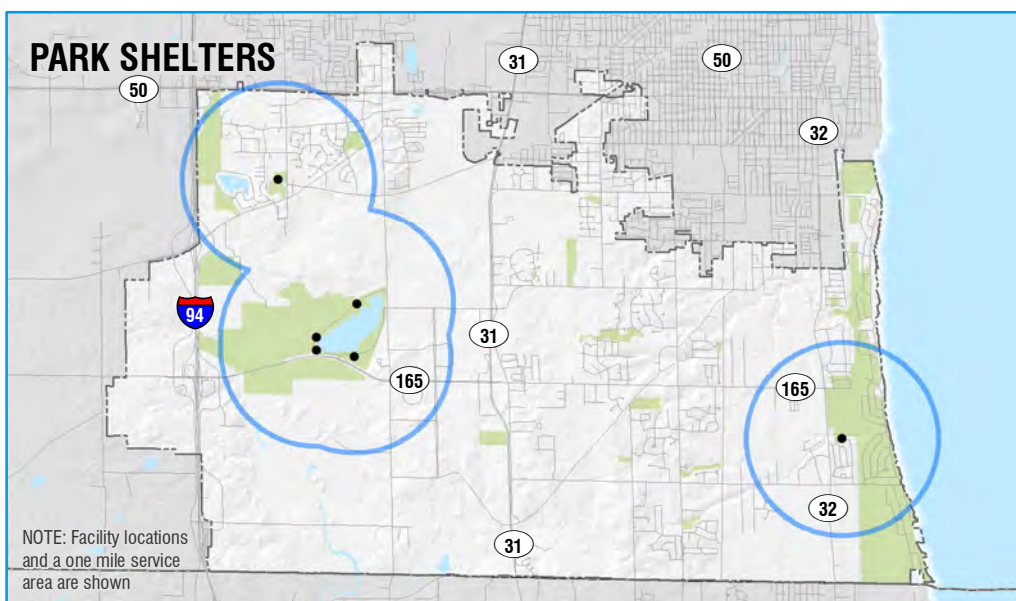
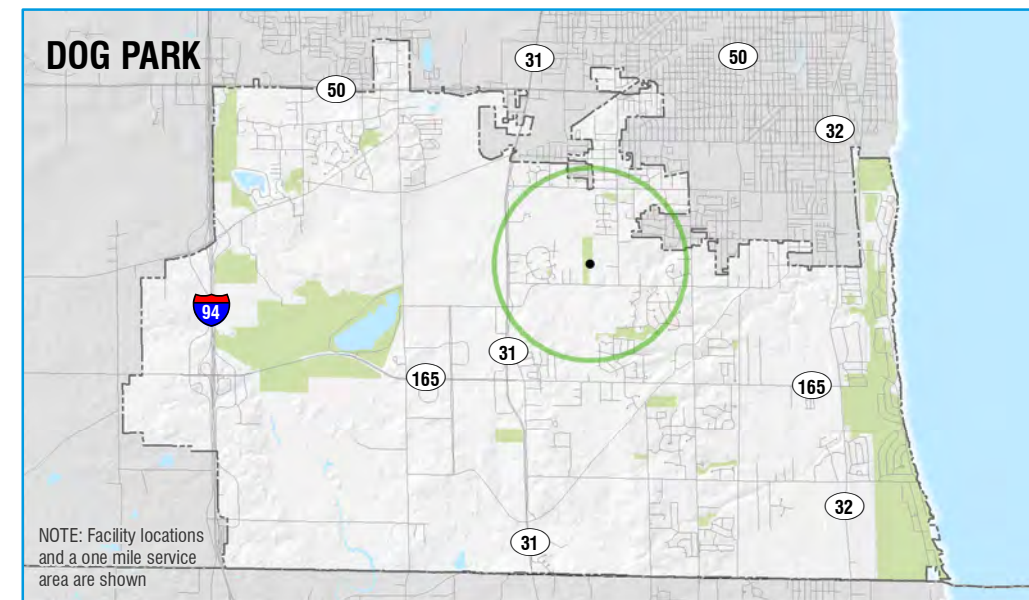
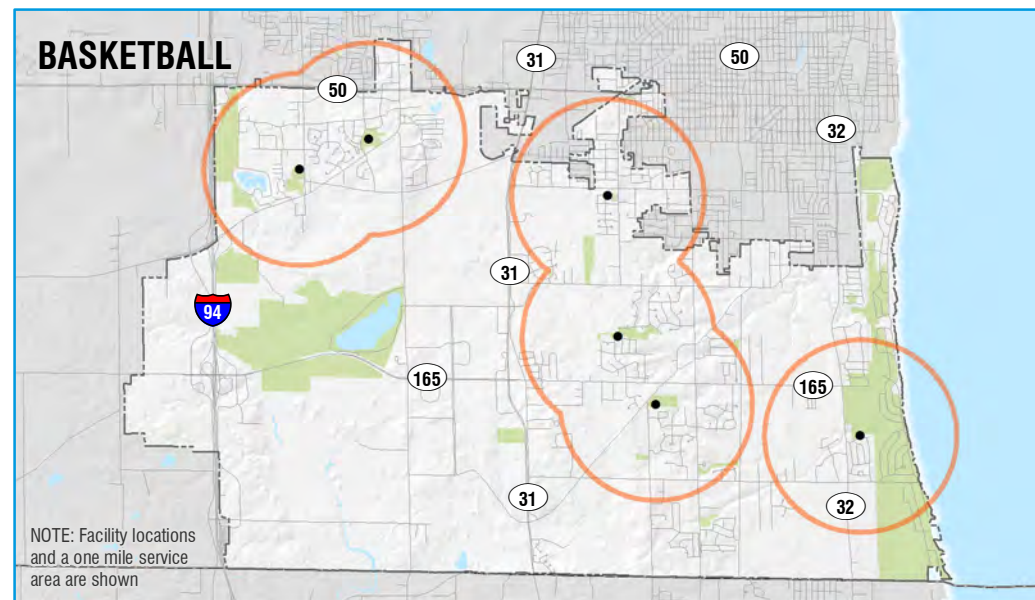
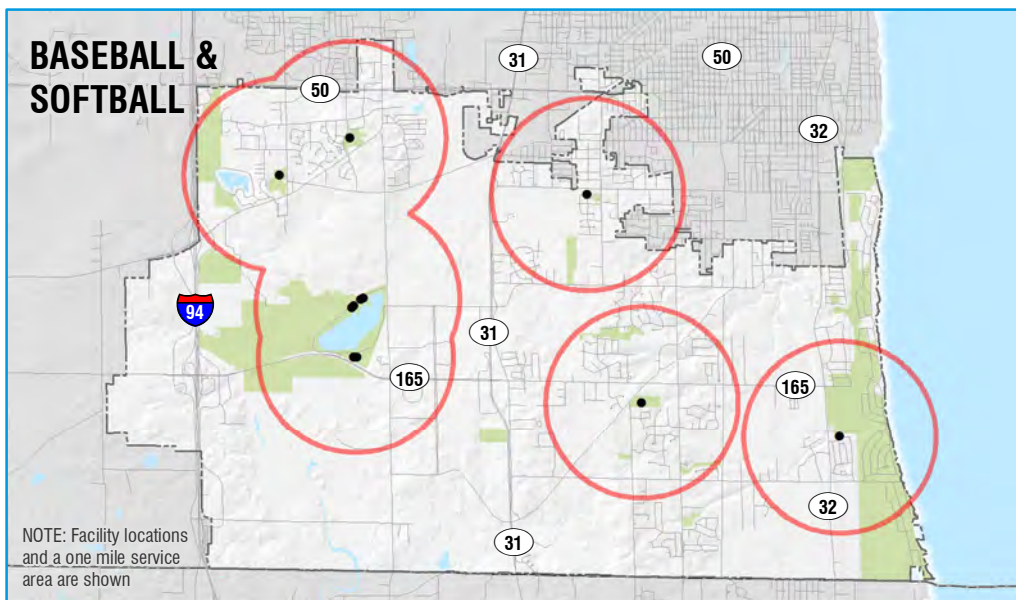
**PARKS**

- Mini Parks
- Neighborhood Parks
- Community Parks
- Regional Parks
- Special-Use Parks
- Conservancy, Open Space & Natural Areas
- School Parks

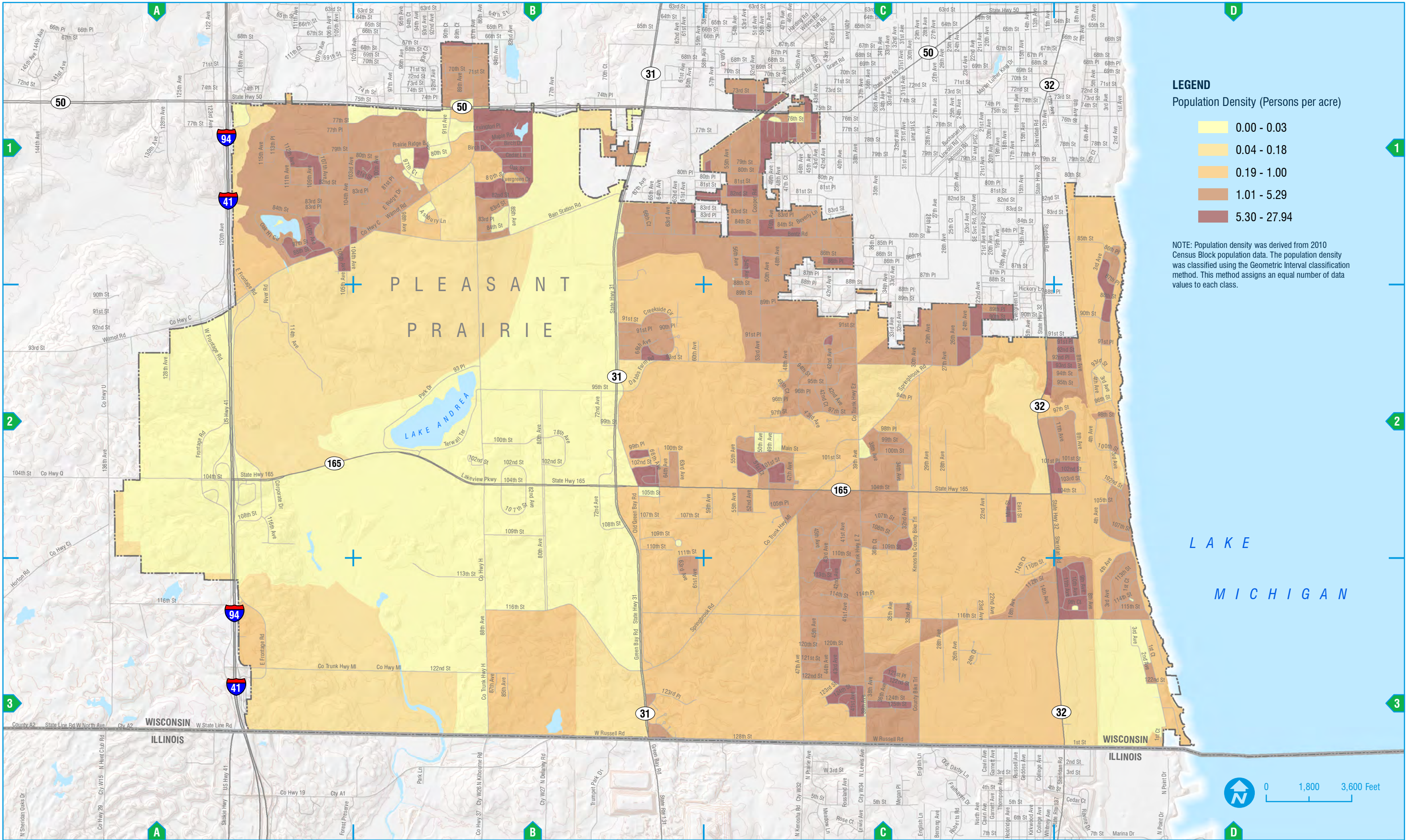






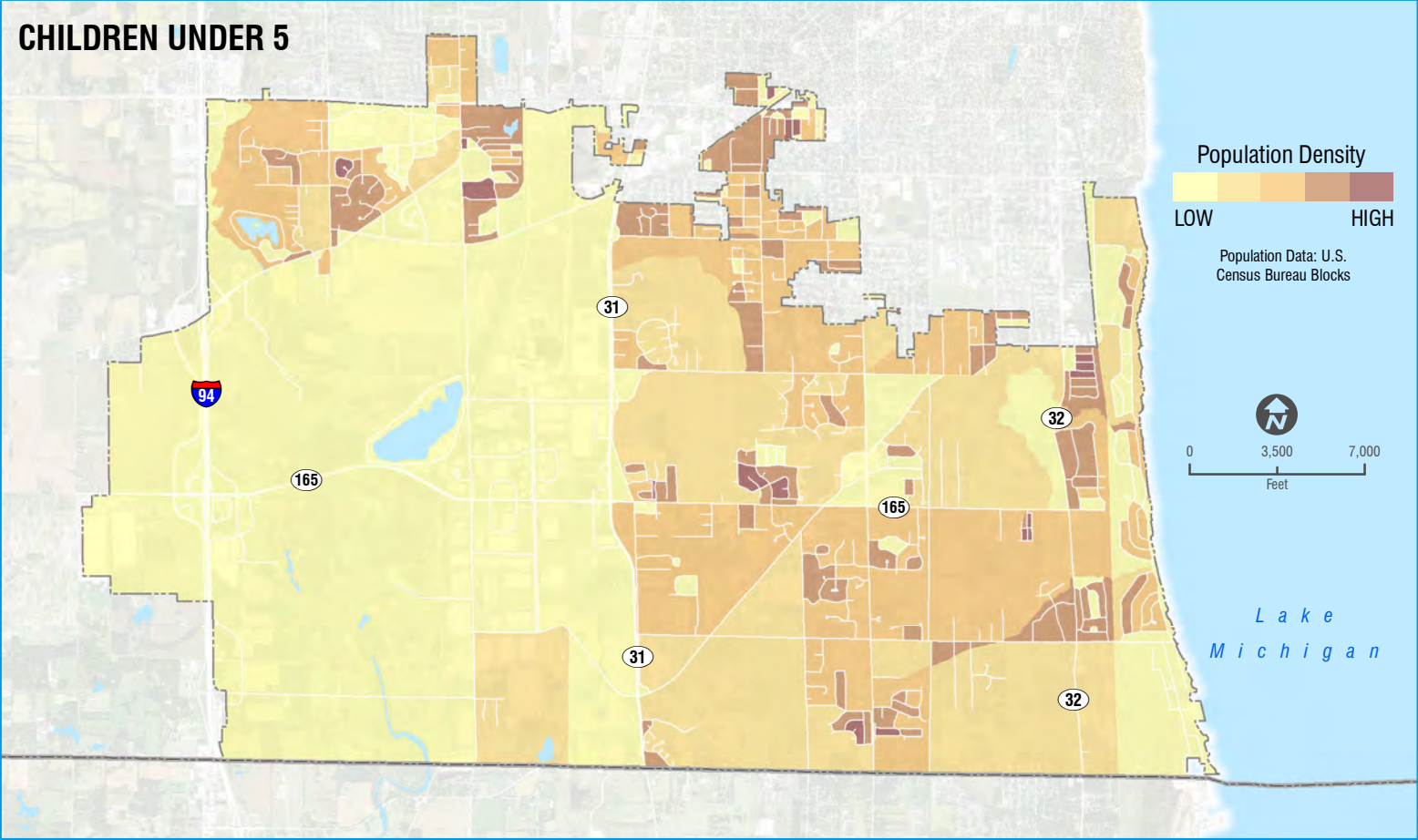




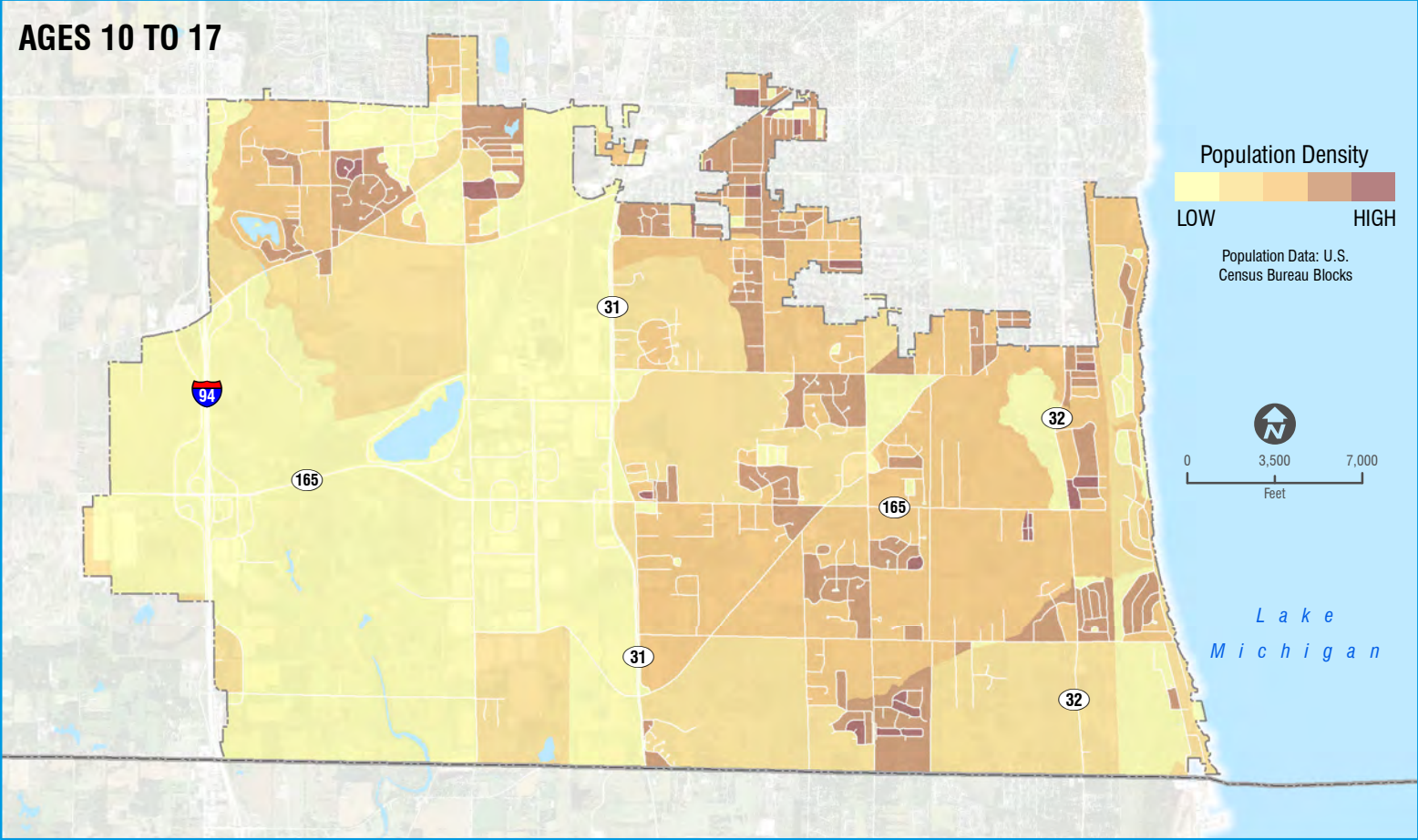




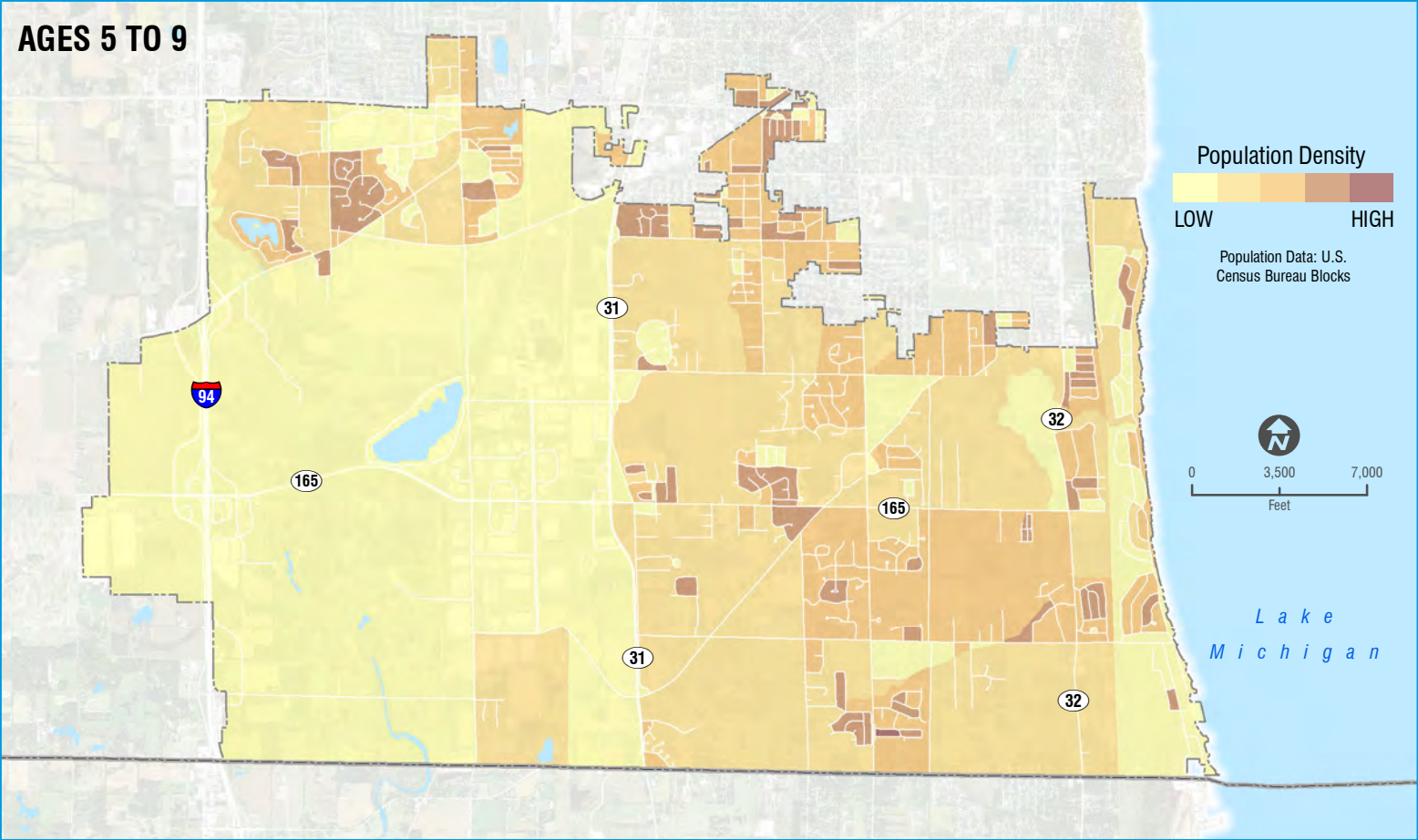
CHILDREN UNDER 5



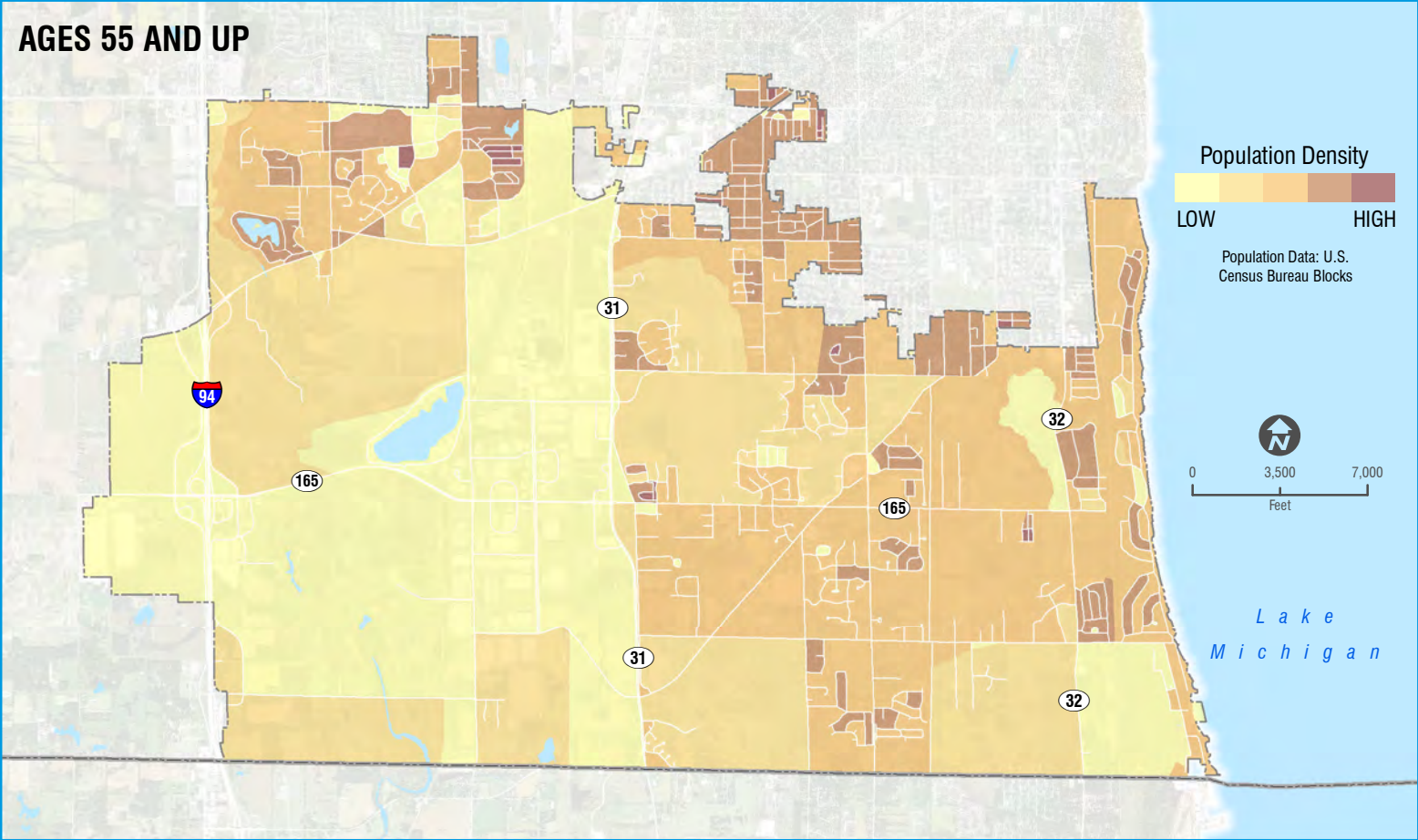
AGES 10 TO 17



AGES 5 TO 9



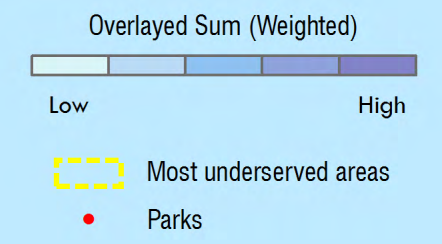
AGES 55 AND UP



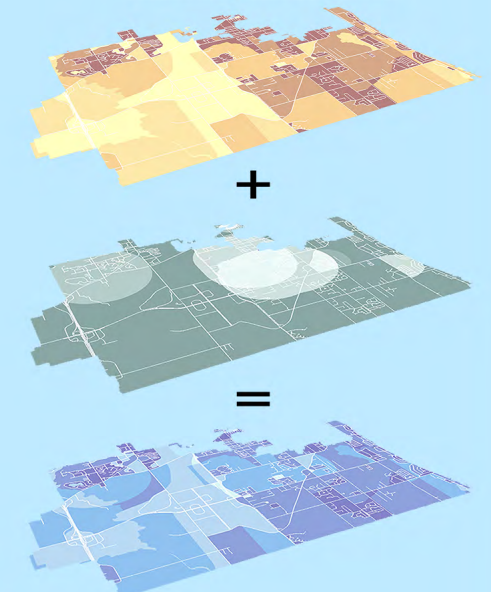


## Potentially Underserved Areas

This map is an overlay of maps **A** & **B** and represents areas that are potentially underserved in terms of access to park facilities. Darker areas are areas that are both highly populated and without park facilities nearby.

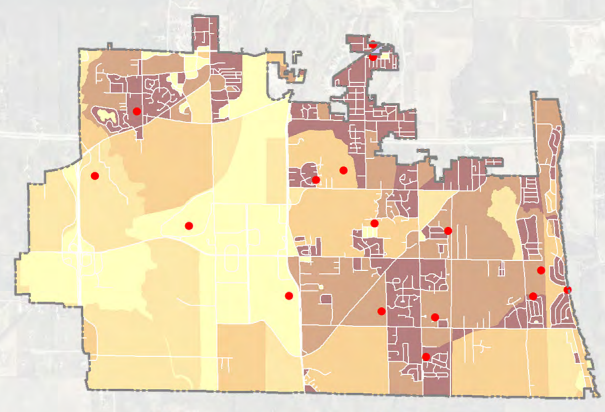


## Overlay Analysis



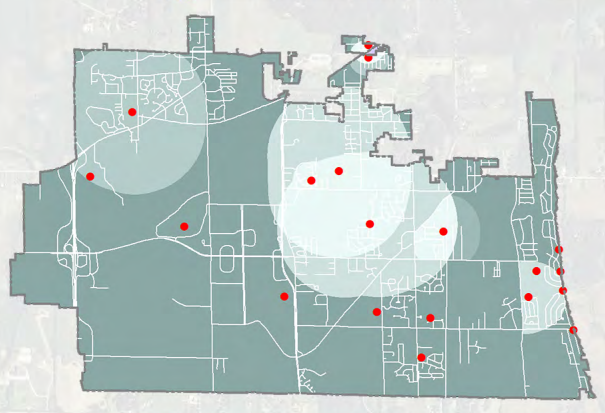
Overlay Analysis is a GIS technique in which each cell of a raster layer is added to the corresponding cell from another raster layer. This creates a third layer which is an overlaid sum or average of the two rasters. In this example, the value of each cell in the newly created raster is higher for cells that are both high in population density and low in facility density.

### A Population Density



Darker areas represent areas with higher population density.

### B Park Facility Density



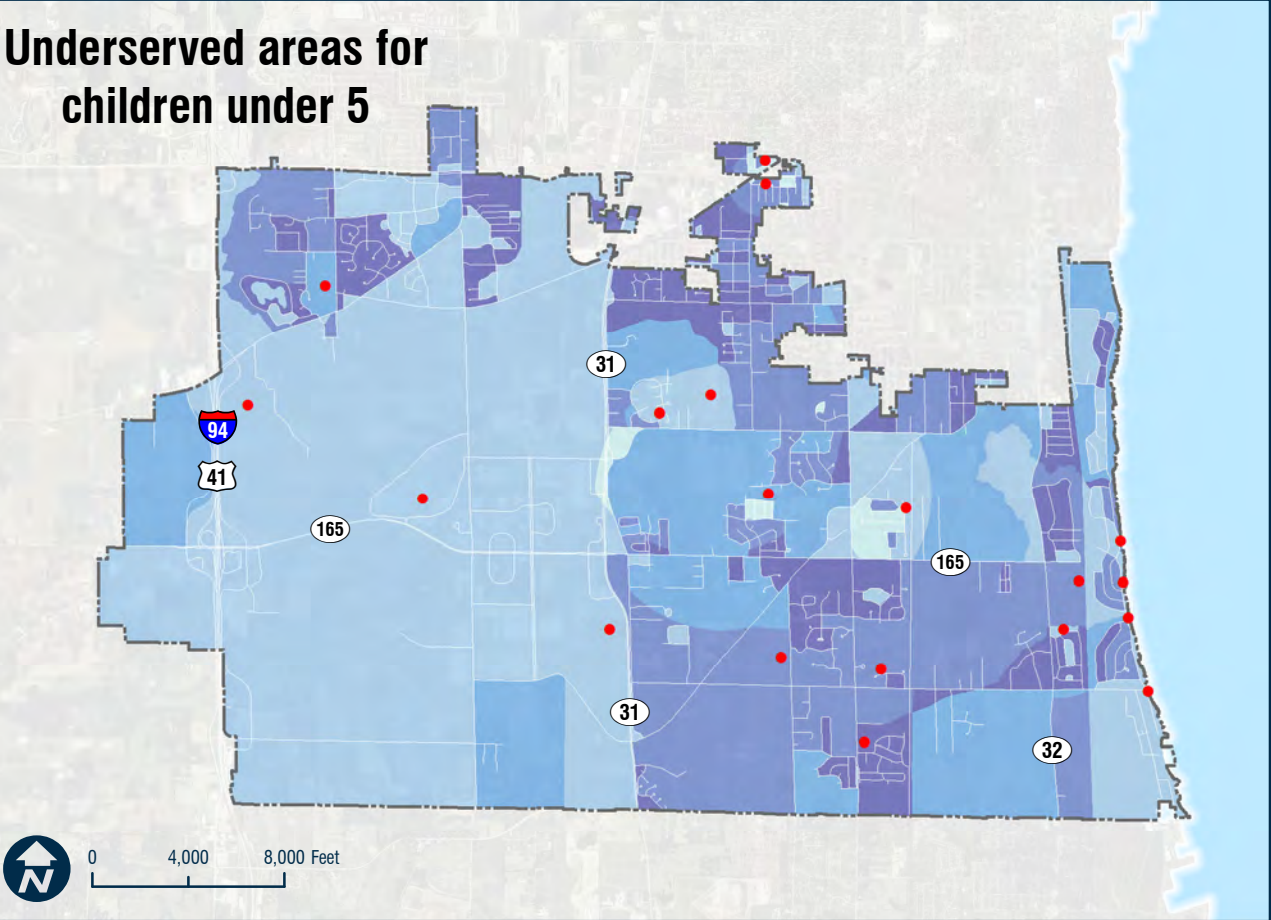
Darker areas represent areas with fewer available park facilities nearby.

What is the purpose of this map?

1. To determine if there are areas of Pleasant Prairie underserved by Village parks. The most underserved areas are indicated on the map by the yellow, dashed polygons. The Village may want to consider these areas first when planning for the installation of new park facilities.
2. To identify parks in which the facilities may be subject to heavy use. High population combined with few alternative facilities may result in higher than normal use of existing facilities. Parks near these areas therefore may require more maintenance and repair than otherwise expected.



Underserved areas for children under 5



Overlay of population density and access to park facilities by age group

This map uses the same technique as Map 7 in that population density and park facility data layers are overlayed to create a new layer. The resulting layer in Map 7 gave new information about what areas of the Village might be in need of new facilities. This group of maps also show the overlay of population density and park facilities, but with a focus on four specific age groups. This gives information not only on where new facilities might be needed but also what type of facilities should be installed.

Darker areas indicate less access to park facilities designed for the specific age group and at the same time a high population density of that specific age group.

Examples of park facilities by age group:

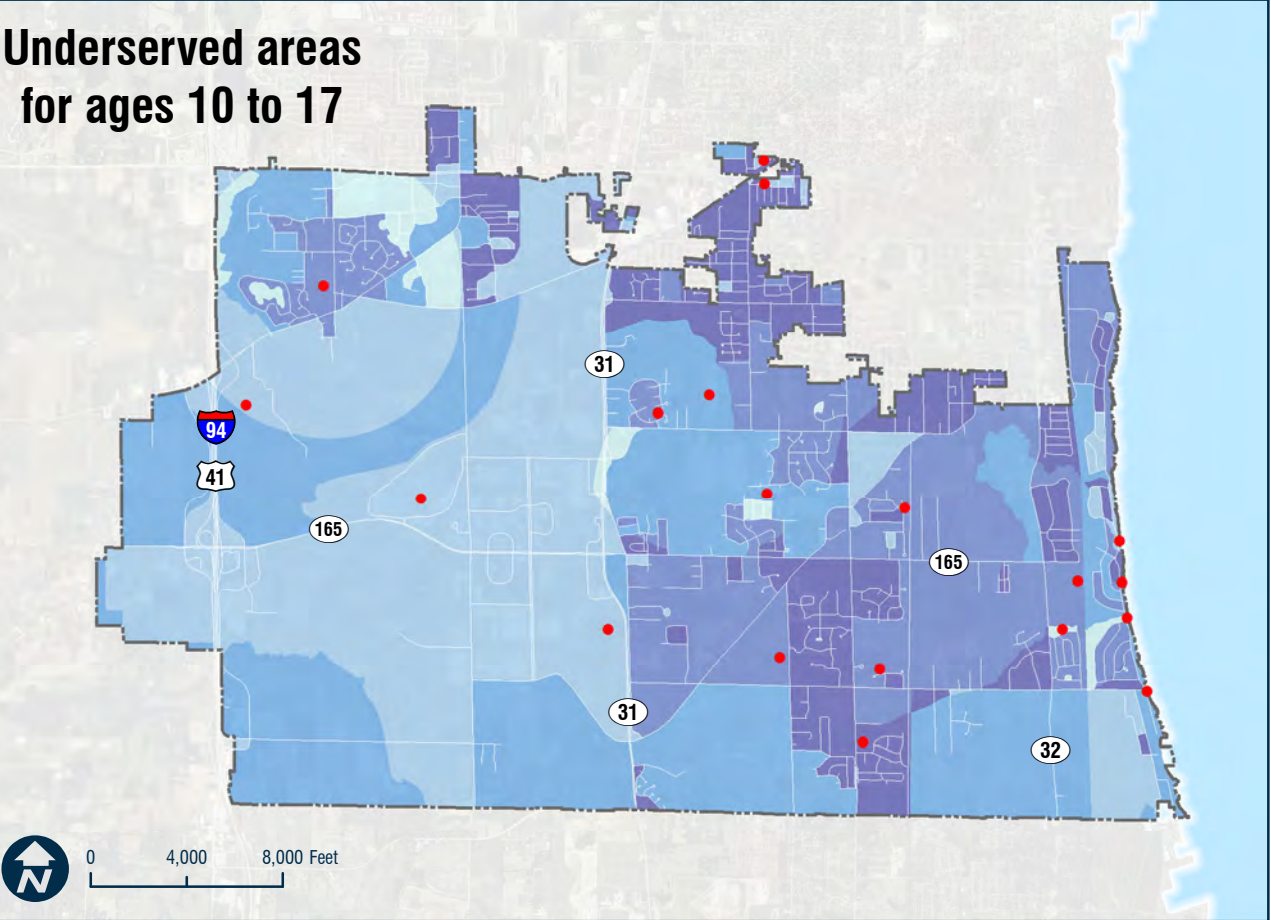
Under 5 - Toddler swings, sandboxes, sandbox diggers, tot slides, spring riders and tilt cups.

5 to 9 - Standard swings, climbing structures, teeter totters, standard slides, merry-go-rounds and monkey bars.

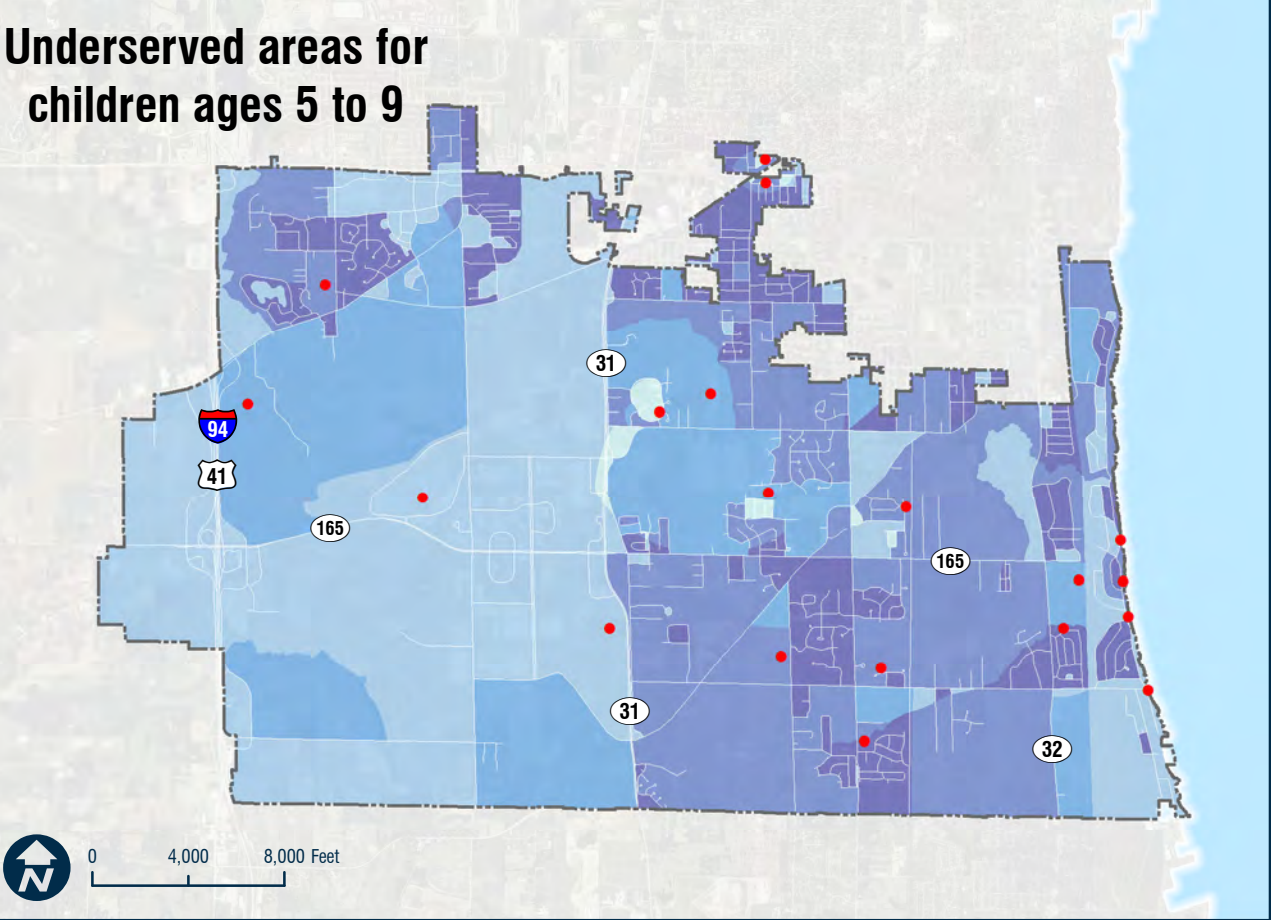
10 to 17 - Baseball/softball fields, basketball courts, sand volleyball courts, skate parks and ice rinks

55 & up - Hiking trails, outdoor fitness stations, boat launches, pickle ball, community gardens and tennis.

Underserved areas for ages 10 to 17



Underserved areas for children ages 5 to 9



LEGEND

Need for additional facilities

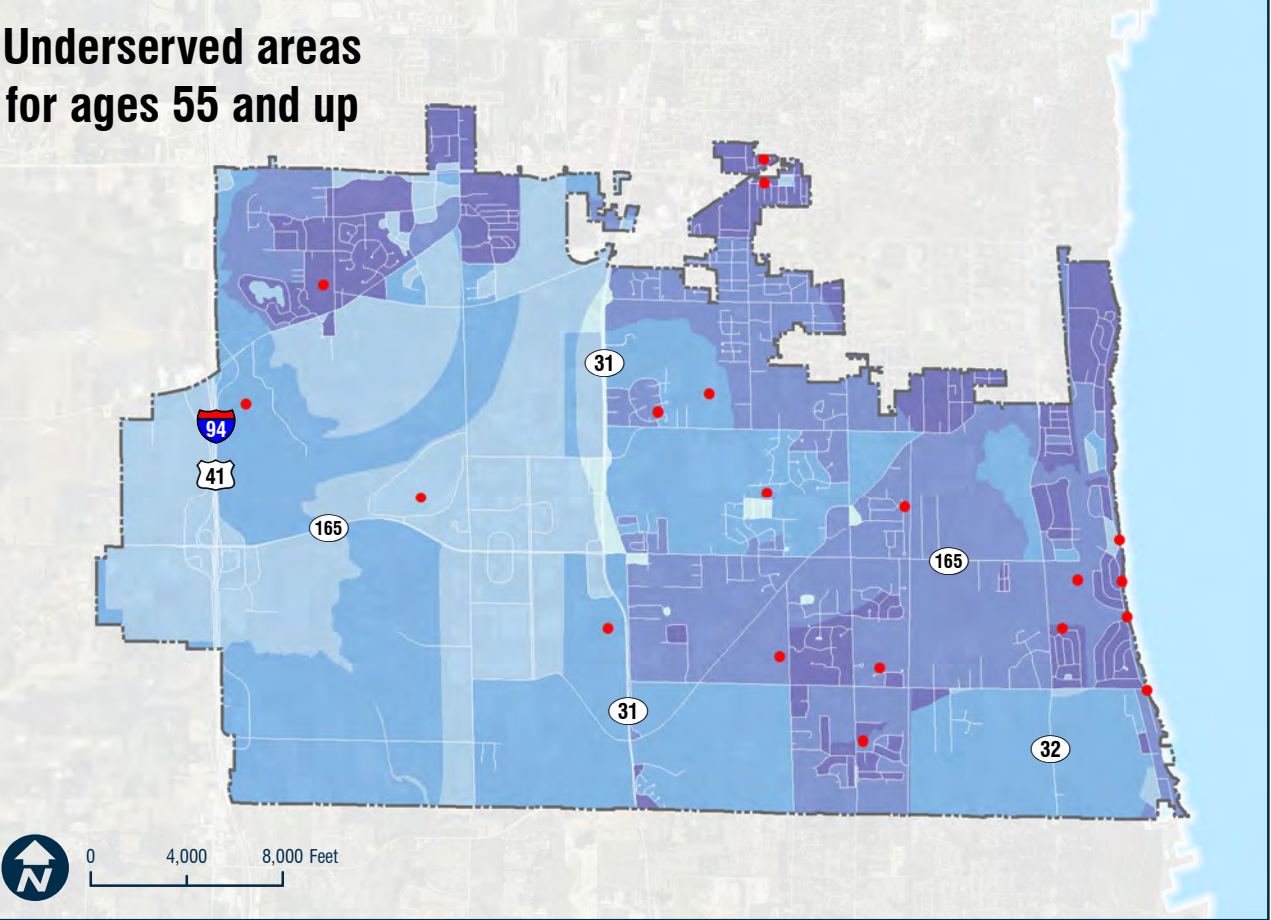
Low High

Parks

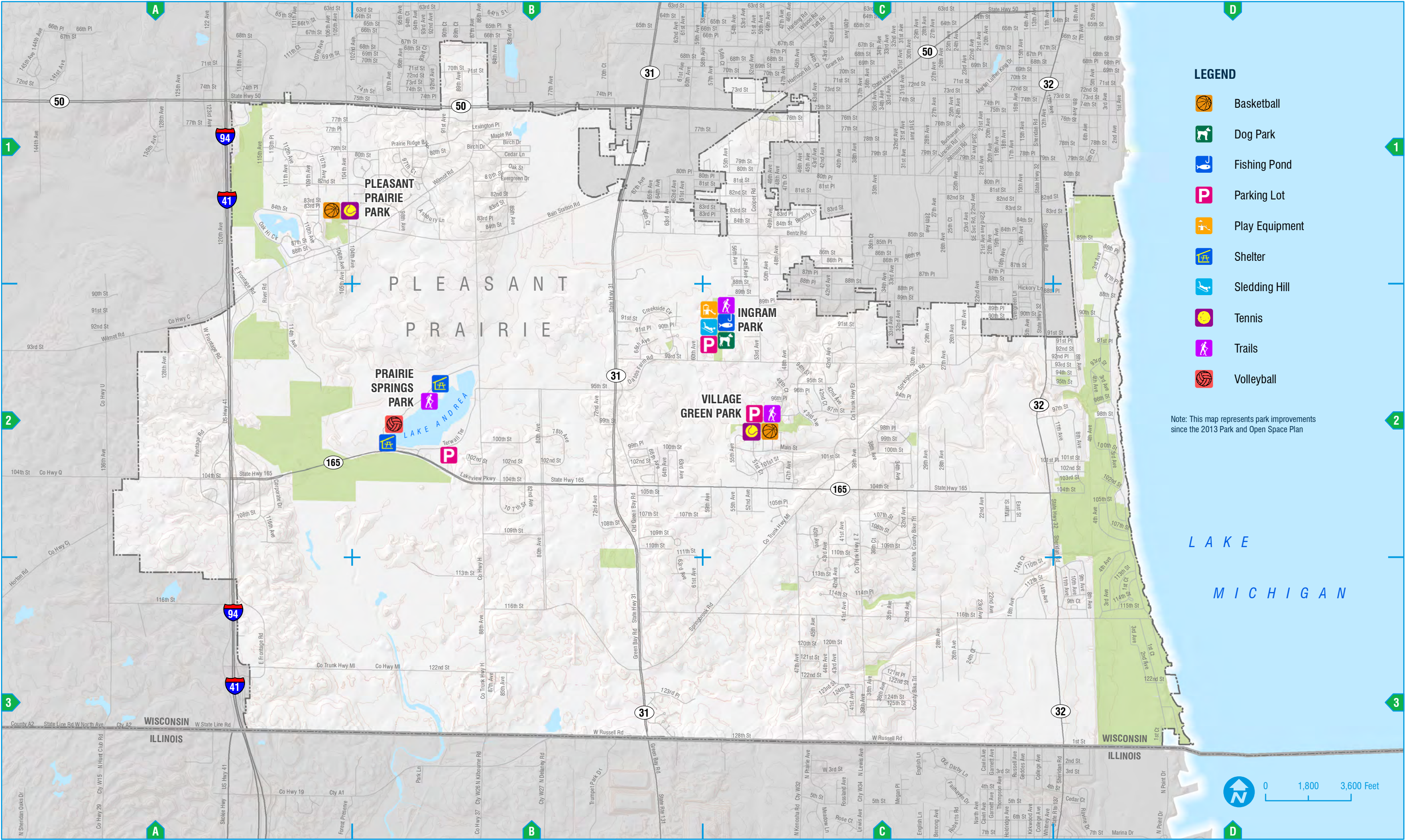
PROJECT LOCATION

Data sources: U.S Census Bureau, Village of Pleasant Prairie, WisconsinView  
Coordinate System: NAD 1983 HARN Wisconsin CRS Kenosha

Underserved areas for ages 55 and up





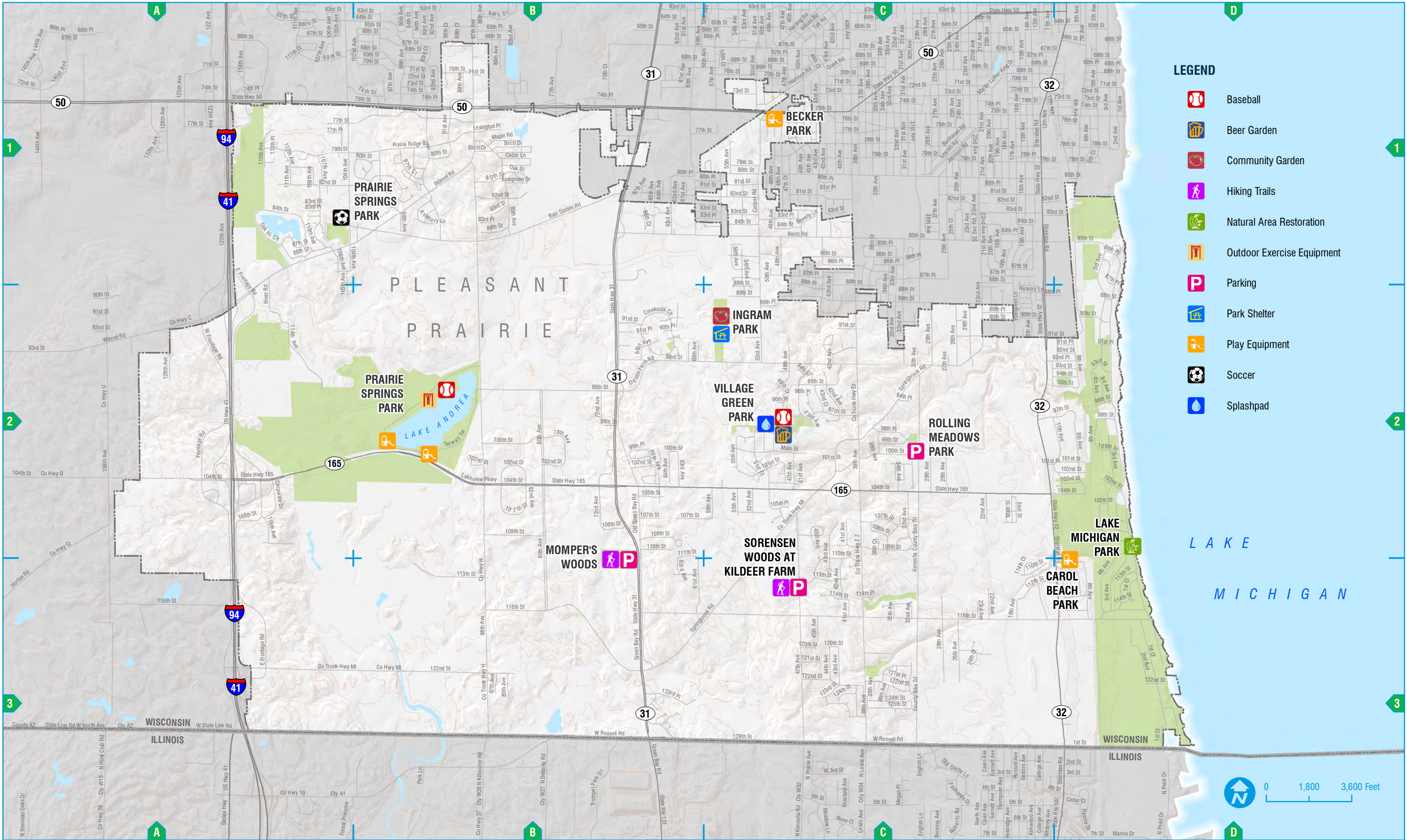


LEGEND

- Basketball
- Dog Park
- Fishing Pond
- Parking Lot
- Play Equipment
- Shelter
- Sledding Hill
- Tennis
- Trails
- Volleyball

Note: This map represents park improvements since the 2013 Park and Open Space Plan







## Appendix C:

### Park Master Plans



- PARCEL AREA = 4.5 ACRES
- LENGTH OF PATHS & SIDEWALKS = 3,145'

### LEGEND

- |   |                                |
|---|--------------------------------|
| <b>1</b> ENTRY PLAZA #1 - ARCHITECTURAL FEATURE/POND WALL | <b>6</b> 10' CONCRETE SIDEWALK |
| <b>2</b> ENTRY PLAZA #2                                   | <b>7</b> BRIDGE                |
| <b>3</b> AMPHITHEATER WITH STAGE, SEATING & RESTROOMS     | <b>8</b> FOUNTAIN              |
| <b>4</b> POND   | <b>9</b> PARK SIGN             |
| <b>5</b> 10' PAVED PATH                                   | <b>10</b> BIKE RACK            |
|   | <b>11</b> UNPAVED TRAIL        |

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Professional Seal

Revision \_\_\_\_\_ Date \_\_\_\_\_

Project Name \_\_\_\_\_

# NEIGHBORHOOD COMMONS MASTER PLAN

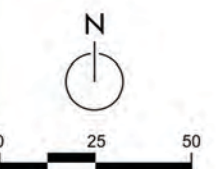
Pleasant Prairie, WI



Drawn By:  
Checked By:  
File:  
Issued For: PRELIMINARY  
Date: 1/27/2017  
Project No. 27-1062

Sheet Title

CONCEPT 1



Sheet Number \_\_\_\_\_

NC-1



File: P:\27-1000\1082 Pleasant Prairie VG parks\CAD\CONCEPTS.dwg Layout: VILLAGE SQUARE User: okedlea Plotted: Jan 30, 2017 - 10:11am

- PARCEL AREA = 3.4 ACRES
- LENGTH OF PATHS & SIDEWALKS = 2,853'

#### LEGEND

- 1 ENTRY PLAZA #1 - PARK SIGN/PLANTER
- 2 ENTRY PLAZA #2 - ARCHITECTURAL FEATURE
- 3 ENTRY PLAZA #3
- 4 PAVILION
- 5 2 TO 12 YEAR OLD PLAYGROUND
- 6 SPLASHPAD
- 7 BRIDGE
- 8 10' PAVED PATH
- 9 BENCHES
- 10 POND
- 11 FOUNTAIN
- 12 SHADE STRUCTURE
- 13 PICNIC TABLES
- 14 PUBLIC ART
- 15 PLANTER
- 16 PARK SIGN
- 17 BIKE RACKS
- 18 SKATING RINK
- 19 FARMER'S MARKET TEMPORARY TENTS

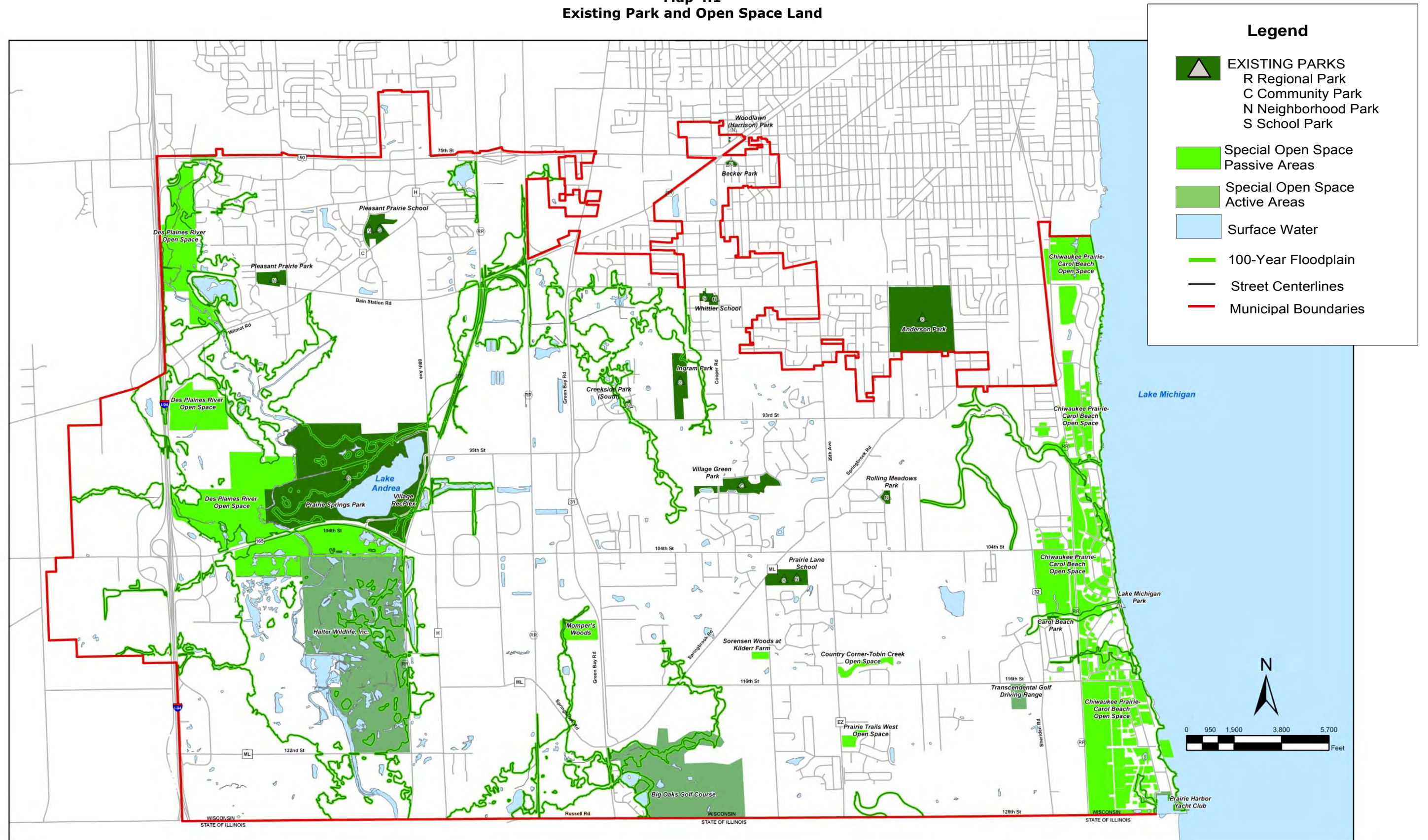




## Appendix D:

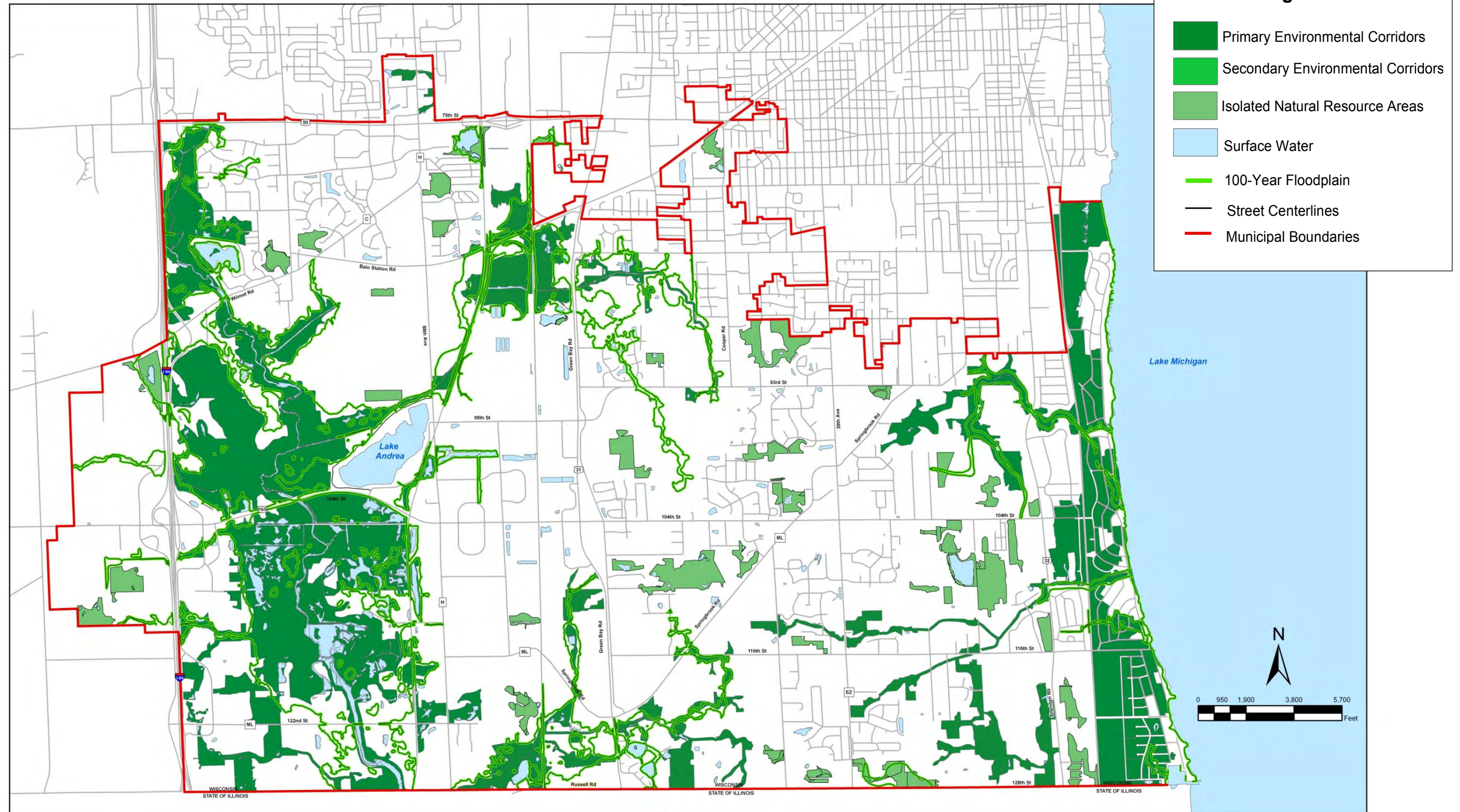
Maps from 2013 Park and Open Space Plan

**Map 4.1**  
**Existing Park and Open Space Land**



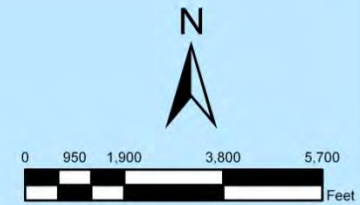


**Map 4.2**  
**Environmental Corridors and Isolated Natural Areas**



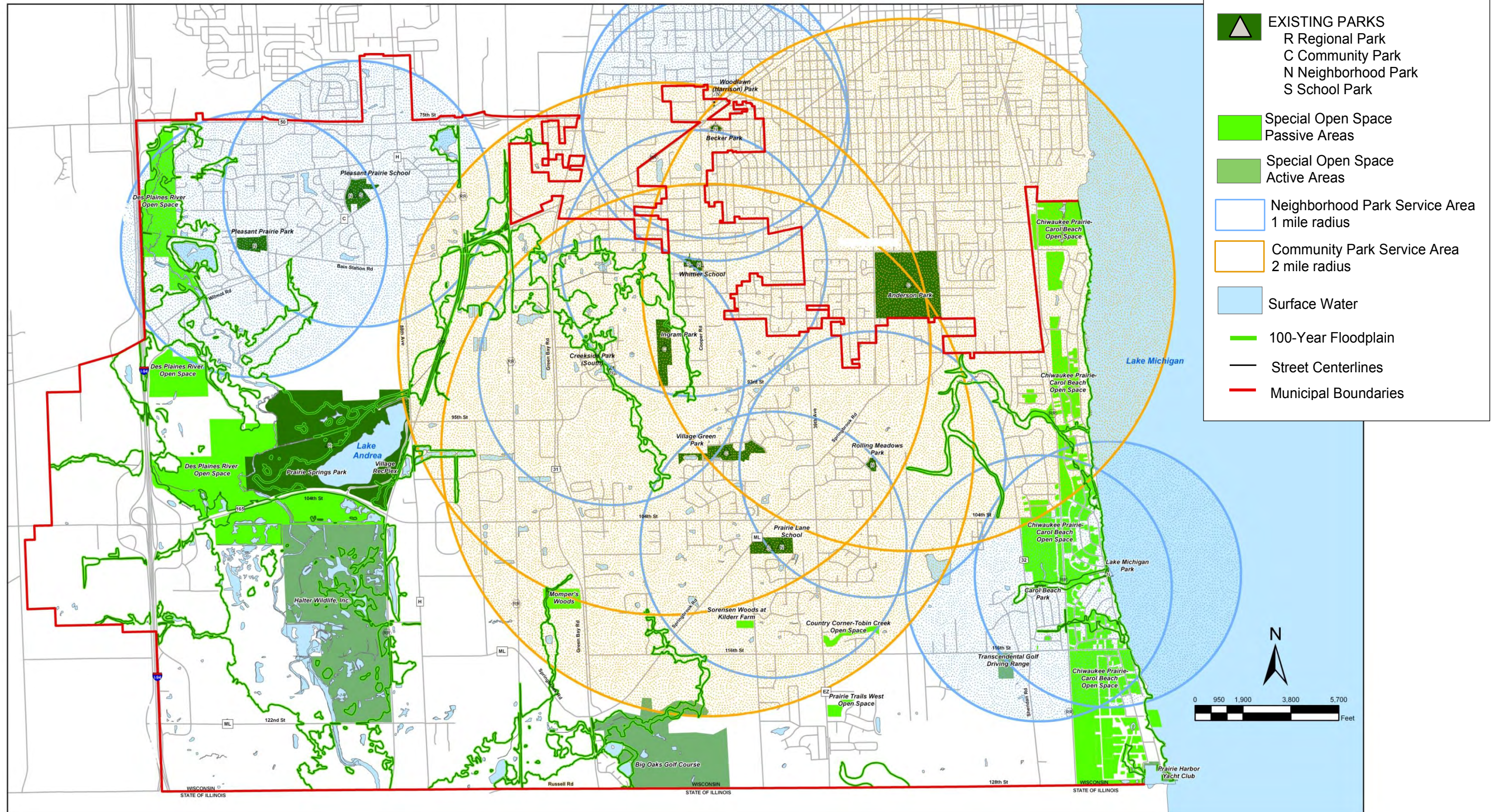


## Existing Off-Street Bicycle and Recreational Trails



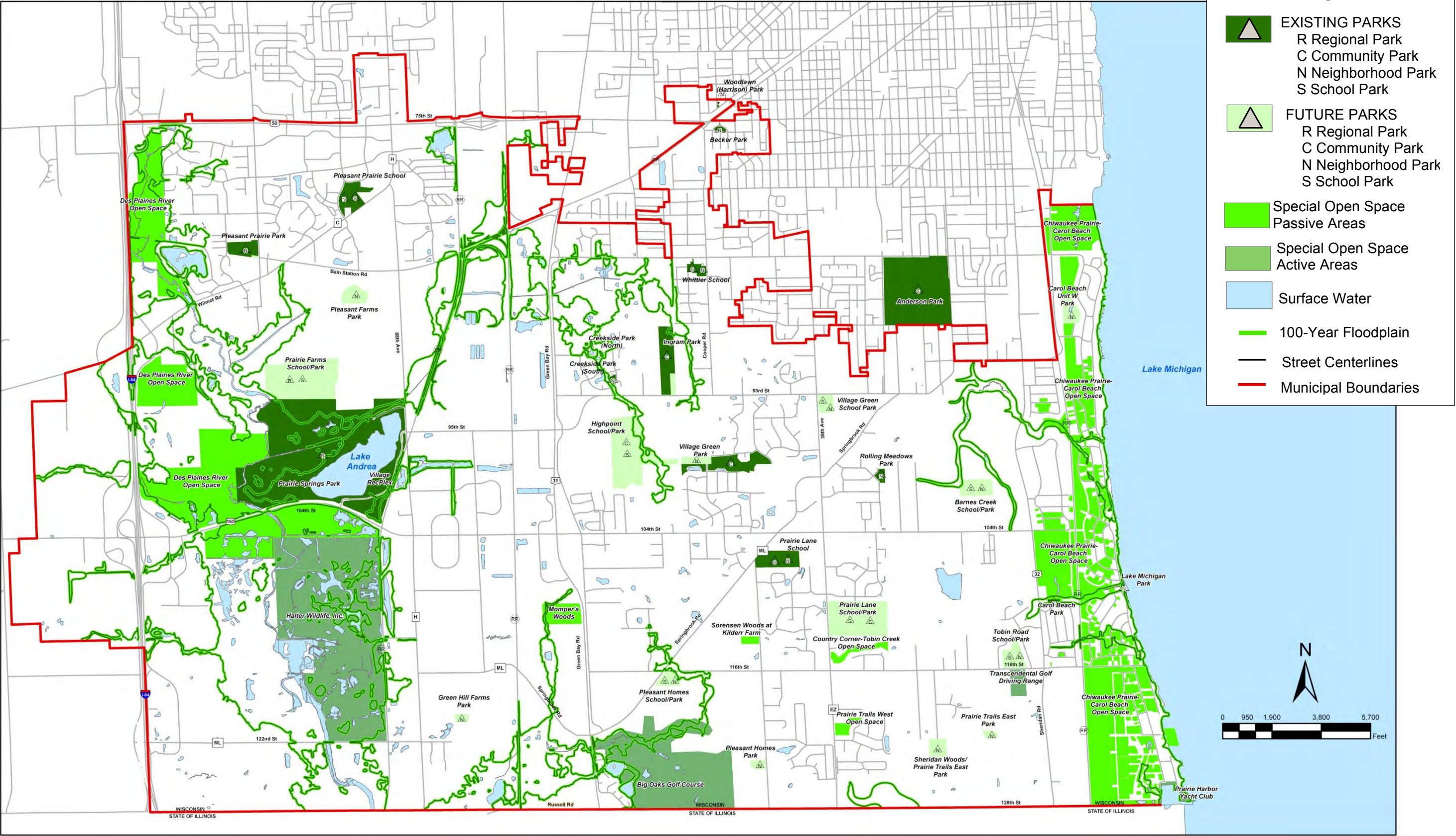


**Map 6.1**  
**Service Areas for Existing Parks**



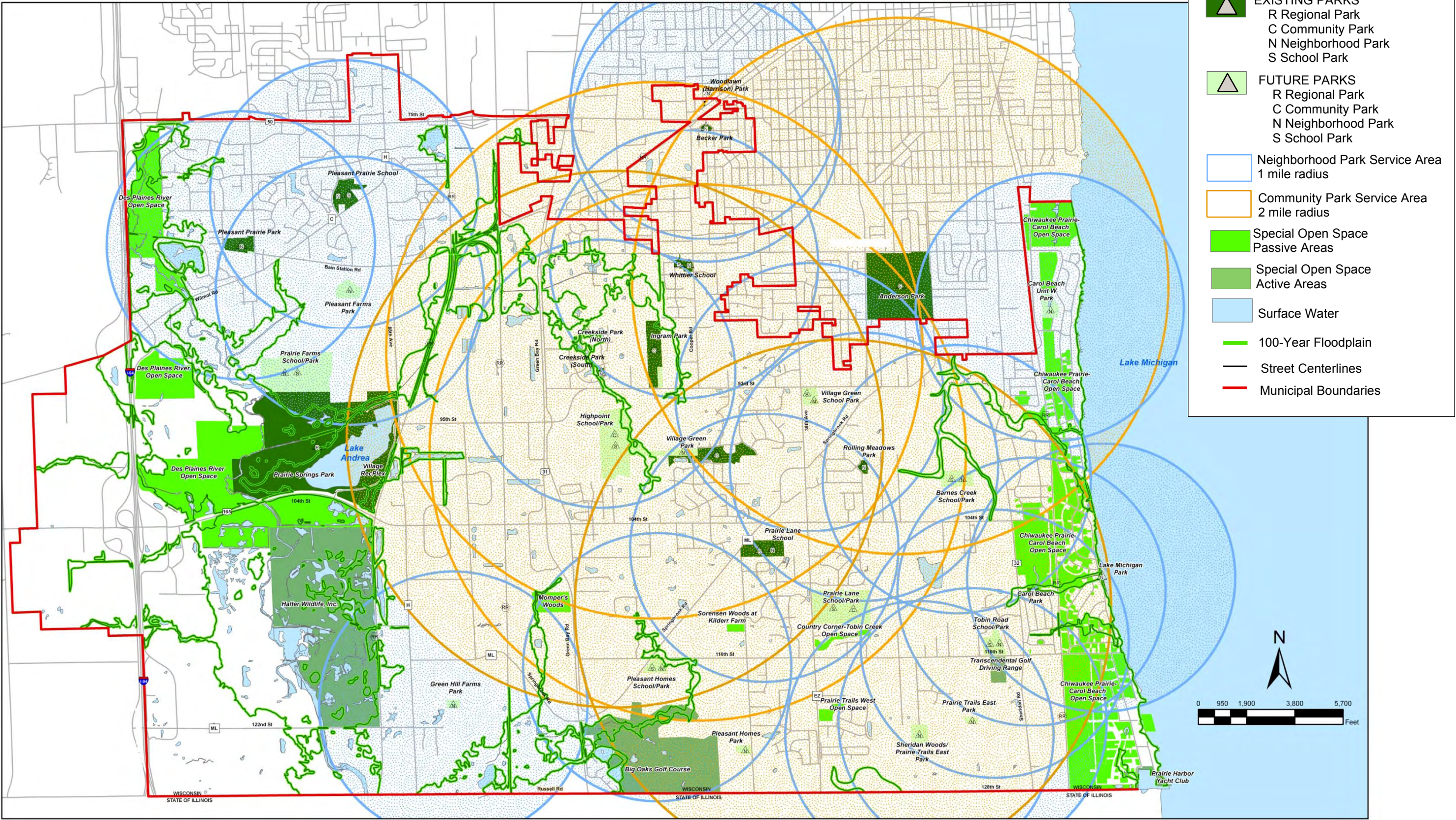


**Map 8.1**  
**Existing and Future Park and Open Space Land**





**Map 8.2**  
**Service Areas for Existing and Proposed Parks**





## Appendix E:

Prairie Springs Park Natural Area  
Des Plaines River Planning Report



# Prairie Springs Park Natural Area Des Plaines River Planning Report

**April, 2007**

Prepared for the  
Village of Pleasant Prairie  
Kenosha County, Wisconsin

**Prepared by:**

Lori Artiomow  
1637 Chatham Street  
Racine, WI 53402  
262.634.2276

Development of this plan was funded through a Wisconsin Department of Natural  
Resources River Planning Grant: Project Number RP-121-06

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## INTRODUCTION

This Des Plaines River Planning Report was developed to provide the Village of Pleasant Prairie a detailed assessment of the natural plant communities that occur within the Prairie Springs Park Natural Area and information on how to best manage them. This plan covers about 385 acres located in Sections 19 & 20 of T1N, R22E, in the Village of Pleasant Prairie, Kenosha, Wisconsin. The project area lies in the Des Plaines River floodplain and contains a complex of quality wetlands and uplands.

The Prairie Springs Park Natural Area is located within a large primary environmental corridor delineated by Southeastern Wisconsin Regional Planning Commission (SEWRPC). It extends from the Illinois border, north along the Des Plaines River, and branches at the Kilbourn Road Ditch and Center Creek (Figure 1). Primary environmental corridors are defined by SEWRPC as areas that contain concentrations of Wisconsin's most significant natural resources, such as lakes, rivers, floodplains, wetlands, woodlands, and wildlife habitat areas. They are at least 400 acres in size, at least two miles long, and at least 200 feet wide.

SEWRPC identified this project area as the Des Plaines River Lowlands in its 1997 Planning Report 42, *A Regional Natural Areas and Critical Species Habitat Protection and Management Plan for Southeastern Wisconsin*, where it is classified as a natural area site of local significance. SEWRPC also classifies it as a Class I Wildlife Area, which is defined as "habitats of the highest value in the Region in that they contain a good diversity of wildlife, are adequate in size to meet all habitat requirements for the species concerned, and are generally located in proximity to other wildlife habitat areas."

Past land uses, lack of fire, and the introduction of invasive species have disturbed the remaining native ecosystems in this area. Their quality will continue to decline and habitat loss will occur unless long-term active land management is undertaken. Active land management will improve wildlife habitat and the overall biodiversity of the project area.

This plan describes the past natural history of the site, provides information about historical land use within and surrounding the project area, it identifies the type and locations of the different plant communities and describes their current condition, and prioritizes management activities to enhance or restore the ecological health of this large floodplain/wetland system. This plan also identifies possible opportunities for stream and habitat enhancement along the Des Plaines River and Jerome Creek, provides information about possible research and education opportunities at the site, and proposes a route for a trail system.



The wetland plant communities referred to throughout this plan follow Eggers and Reed<sup>1</sup> and are summarized as follows:

- Wet to Wet-mesic Prairie: Dominated by native grasses such as prairie cord grass, big bluestem, and Canada blue-joint grass, with various forbs such as New England aster, Culver's root, prairie dock, and sawtooth sunflower present, growing on saturated to inundated soils with a high groundwater table.
- Wet (fresh) Meadow: Dominated by grasses such as reed canary grass and reedtop, and by forbs such as giant goldenrod, swamp aster, and sneezeweed, growing on saturated, rarely inundated, soils. Wet (fresh) meadows indicate areas that were disturbed in the past by drainage, siltation, cultivation, or other disturbances.
- Sedge Meadow: Dominated by sedges such as species in the *Carex* genus, spike-rushes, bulrushes, and nut-grasses, growing on saturated soils with a high groundwater table. Native grasses, rushes, and diverse forb species may also be present.
- Shallow Marsh: The soils are saturated to inundated by standing water up to 6 inches in depth throughout most of the growing season. Dominated by herbaceous emergent vegetation such as cattails, bulrushes, arrowheads, and lake sedges.
- Shrub-Carr: Dominated by deciduous woody shrubs such as willows, red-osier dogwood, silky dogwood, meadowsweet, and buckthorn, with ferns, grasses, sedges, and forbs in the groundlayer, growing on saturated to seasonally flooded soils.

Other plant communities referred to are:

- Mesic Prairie or Prairie: Dominated by grasses such as big and little bluestem, and forbs such as yarrow, flowering spurge, wild strawberry, Culver's root, coneflowers, monarda, asters, and goldenrod.
- Oak Savanna: Oak canopy of about fifty percent, with grasses and forbs underneath, such as big and little bluestem, asters, goldenrods, yellow coneflower, leadplant, and monarda.
- Oak woodland or forest: Woodland canopy dominated by oaks.
- Meadow: Vegetation that colonizes fallow fields such as aster, goldenrod, Kentucky blue grass, Queen Anne's lace, chicory, milkweed, etc.

Development of this plan was funded through a Wisconsin Department of Natural Resources River Planning Grant: Project Number RP-121-06.

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<sup>1</sup> Eggers, Steven D., and Donald M. Reed. 1997. *Wetland Plants and Plant Communities of Minnesota & Wisconsin*. U.S. Army Corps of Engineers, St. Paul District. 263pp.

## PROJECT AREA

The project area lies north of State Trunk Highway 165, east of I-94, and west of County Trunk Highway H in the Village of Pleasant Prairie (Figure 2). It is a relatively low-lying area within the Des Plaines River floodplain that contains a complex of wetlands that grade from marsh to sedge meadow to wet meadow to prairie to oak savanna, depending on slight elevation changes. Elevations range from a low of about 668 feet above mean sea level to a high of 686 feet above mean sea level, with most of the land below 672 feet.

The majority of the project area has a conservation easement placed on it that is held by The Nature Conservancy (TNC). This conservation easement restricts the types of activities that can occur on the land and protects its conservation value in perpetuity. TNC placed this easement on the land in 2001, after donating the land to the Village of Pleasant Prairie.

TNC acquired the land from WISPARK, a real estate development company, in the late 1980s as part of a proposal to develop the Lake View Corporate Park. This development required the extension of CTH Q (now STH 165) from CTH H, west, across wetlands and floodplain of the Des Plaines River, to I-94. Because wetlands were going to be destroyed for this highway extension, the U.S. Army Corps of Engineers (ACOE) and U.S. Environmental Protection Agency (EPA) required WISPARK to compensate for these losses through wetland mitigation as part of their 404 Clean Water Act permit. Three wetland creations for the mitigation requirement are in the project area; two are located just north of Jerome Creek, between the Des Plaines River and CTH H, and the third wetland creation is just south of the River Road cul-de-sac. Also part of the mitigation are two prairie restoration areas that surround the wetland mitigation sites.

## HISTORIC LANDSCAPE

Information about Wisconsin's historic landscape prior to European settlement can be found in the federal General Land Office Public Land Survey records. The Public Land Survey began in 1785 and was undertaken to divide the public lands into salable-sized lots. It established the township, range, and section grid still used today to identify property. During December 1835 and January 1836, Joshua Hathaway<sup>2</sup> surveyed and mapped Township T1N, R22E, where the project area lies. His remarks about this Township:

"The land of this Township is slightly rolling and except marshes, good, tolerably well timbered with handsome prairies ---Waters only by "sloughs" and marshes ---The Aux

---

<sup>2</sup> The Wisconsin Public Land Survey original field notes have been digitized and made available online by Wisconsin Board of Commissioners of Public Lands, and the University of Wisconsin Board of Regents: <http://digicoll.library.wisc.edu/SurveyNotes/>.



Plaine drags itself through the west side with its usual accompaniment “Grand Marais” joining it in this Town whence they travel in company, hale fellows well met.”

Hathaway’s map of this Township (Figure 3) shows the Des Plaines (Aux Plaines) River entering the Township between Sections 7 and 18, with the “Grand M,” or “Grand Marais” (grand marsh), joining the Des Plaines River from the northeast through Section 20. For his illustration, it is assumed from his section line descriptions that circles (o) represent prairie/wet prairie, double lines (=) represent marsh, and crosses (+) represent timber. Hathaway mapped prairie and marsh through much of the area that is now the Prairie Springs Park Natural Area (Sections 19 and 20).

From data collected by the Public Land Survey surveyors, it is estimated that during the mid-1830s about 43 percent of the Des Plaines River watershed was savanna, 26 percent prairie, 17 percent oak forest, and 14 percent wetland<sup>3</sup>.

Soils can also provide historic information about a landscape. Soil formation is influenced by many things including glacial deposits, moisture levels, vegetation, and slope, and can take thousands of years to form. Climate and plant and animal life, particularly vegetation, are the active forces in soil formation<sup>4</sup>. Moisture availability will influence the type of vegetation that can grow in an area. Areas that are wet, or saturated, during most of the growing season support plants that require or tolerate anaerobic (low or no oxygen) soil conditions. These wet areas are poorly drained due to a high water table or because they are located in drainageways or depressions. Soils formed under these conditions are called hydric soils. Sedges, bulrushes, cattails, water-tolerant grasses, willows, and dogwoods are among the vegetation that can grow in saturated soils. Areas without saturated soils, or are well drained during most of the growing season, support plants that require or tolerate aerobic soil conditions. The United States Department of Agriculture (USDA) Soil Conservation Service, now called the USDA Natural Resources Conservation Service (NRCS), completed their soil surveys for Kenosha and Racine Counties in the mid-1960s and published their findings in 1970<sup>4</sup>.

The NRCS soil descriptions contain information about the vegetation types that formed the soils (Table 1) and have been used to create a detailed picture of the historic landscape (Figure 4). Marsh, sedge meadow, wet prairie, and shrub communities dominated the vegetation in the project area. Wet alluvial land refers to poorly drained, unconsolidated alluvium (soil or rock material) recently deposited on low floodplains by stream flow, and is generally stratified. Wet alluvial land is generally the sediment deposition along and within a stream.

## LANDSCAPE CHANGES

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<sup>3</sup> Southeastern Wisconsin Regional Planning Commission. 2003. Planning Report Number 44: *A Comprehensive Plan for the Des Plaines River Watershed*. SEWRPC. 1158pp.

<sup>4</sup> United States Department of Agriculture Soil Conservation Service. 1970. *Soil Survey: Kenosha and Racine Counties Wisconsin*. U.S. Government Printing Office.

The landscape of Prairie Springs Park Natural Area has seen many changes since the Public Land Survey. Following the survey, many Europeans came to settle in the watershed and began clearing the land for farming. During this time the plow was being redesigned to work more efficiently on the deep, rich prairie soils of the Midwest<sup>5</sup>, which later helped convert much of the native landscape to productive agricultural fields. The fires that maintained the once large expanses of prairie and savanna were suppressed, allowing shrubs and trees to become established on the remaining prairie and savanna remnants, converting them to forest over time.

Agriculture had widespread impacts within the watershed such as changes in hydrology and increased sediment and nutrients flows into the river, as well as habitat loss. Ditching and the installation of drain tiles in agricultural fields lowered water tables to allow farming on the hydric soils, but also reduced groundwater recharge, and increased the volume of water directed to the Des Plaines River and its tributaries.

The agricultural fields, themselves, have less ability to absorb water during rain events than native prairie/savanna vegetation, leading to increased water runoff and soil erosion. The increased volume of water entering the river began the cycle of flash flooding during storm events and, along with the topsoil carried in from the fields, the scouring down of the river channel, and the undercutting of banks, causing large volumes of sediment being transported to other locations downstream. Some of the banks along Des Plaines River within the Prairie Springs Park Natural Area have accumulated almost two feet of sediment on top of the native vegetation, in part because of this process<sup>6</sup>. The NRCS soil survey identifies this recent accumulation of sediment as wet alluvial land<sup>4</sup> (Figure 4).

Transported sediment also collects on the riverbed. During 1996, SEWRPC measured 1.5 feet of unconsolidated sediment on the Des Plaines River riverbed at CTH C, just north of the Prairie Springs Park Natural Area, and 0.6 feet at STH 165<sup>3</sup>. Sediment deposition on the riverbed and banks and the undercutting of riverbanks have destroyed native fish habitat by covering or washing away native vegetation that served as feeding and breeding areas, as well as destroying habitat for aquatic invertebrates, a food source for many native fish.

By 1941, the higher elevations of the Prairie Springs Park Natural Area were under agricultural use, including row cropping, grazing, and haying (Figure 5). Areas in the southwest portion of the site that were too wet to farm or graze were used to harvest marsh hay. A common practice was to seed reed canary grass into these wet areas to increase marsh hay production. Ditching was used help drain the water away from this area and created what SEWRPC now refers to as Unnamed Tributary 7 (UT-7)<sup>3</sup>. The “Grand Marais” was also ditched prior to 1941, creating Jerome Creek. A portion of the Des Plaines River, itself, was likely modified to flow along the section line between sections 19 and 20 sometime between 1908 and 1941. This modification of the river

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<sup>5</sup> [http://www.deere.com/en\\_US/compinfo/history/index.html](http://www.deere.com/en_US/compinfo/history/index.html). Retrieved 12/9/06.

<sup>6</sup> Personal communication with Steve Apfelbaum of Applied Ecological Services, Inc. Applied Ecological Services, Inc., was hired by WISPARK and then TNC during the late 1980s to 1994 to work on the wetland mitigations and other ecosystem management at the site.



course was probably done to allow the landowner on the west side of the Des Plaines River access to the small portion of land that would have been east of the river (Figure 6).

During 1969, Jerome Creek was straightened and widened to its current course and reed canary grass may have been utilized again, but this time to stabilize the spoil piles following channel modification (Figure 7).

In addition to its early use as forage or hay, reed canary grass has been widely used in Wisconsin to stabilize roadsides and streambanks because it is a vigorous, sod-forming perennial grass. Reed canary grass growing in southeast Wisconsin is now considered a non-native, ecologically invasive plant with the ability to form dense monocultures. It outcompetes native wetland vegetation, threatening the biodiversity of native ecosystem. Nutrients entering the river from crop fertilizers, livestock, and sewage treatment, along with past disturbances, such as ditching and sediment deposition on top of native riverbank vegetation, likely promoted the rapid and expansive spread of reed canary grass found along the Des Plaines River and its tributaries.

While much of the watershed is still under agricultural use, conversion of the agricultural landscape to commercial, industrial, and residential development was well underway by the last quarter of the last century. Construction of the Pleasant Prairie Power Plant and the excavation of Lake Andrea were underway by the 1970s. By the late 1980s, WISPARK's plan to develop the Lake View Corporate Park led to the construction of old CTH Q to the current STH 165. This changed the landscape of what is now the Prairie Springs Park Natural Area

To cross the river, the STH 165 construction would destroy many acres of wetland and stricter federal environmental protection laws now required wetland mitigation if wetlands were to be destroyed. To obtain its 404 Clean Water Act permit, WISPARK agreed to the wetland mitigation obligation, with three of the mitigations occurring in what is now the Prairie Springs Park Natural Area. These mitigations included two wetland creation ponds just north of Jerome Creek and a small, excavated mitigation wetland south of the River Road cul-de-sac (Figure 8). During this time, WISPARK contacted The Nature Conservancy (TNC) and offered to donate this property to them for long-term preservation, as long-term preservation of the mitigation sites was a requirement of the 404 Clean Water Act permit.

To accept the donation, TNC had several requirements that would improve overall ecosystem health to the property, including prairie restorations on former agricultural fields surrounding the wetland mitigation areas and aggressive management of the degraded wetlands on the property. These requirements became an amendment to WISPARK's 404 Clean Water Act Permit.

On accepting the donation, TNC oversaw implementation of a five-year restoration and management program on the 425 acres of donated land. The work was conducted by the consulting firm Applied Ecological Services from 1989 through 1993. During that time, prairie was seeded around the two wetland creation ponds north of Jerome Creek, and

prairie was also seeded around the River Road cul-de-sac mitigation site, which would become a prairie seed nursery for use during future prairie enhancement on the donated property. Seeds from existing native vegetation were also collected and spread throughout the site to increase plant diversity. Other work included prescribed burns and the removal of woody vegetation that was encroaching on wetlands and prairie remnants. Prescribed burns were used multiple years throughout the property to control invasive plant species and enhance native prairie and wetland growth. Dense monocultures of reed canary grass dominated areas along the Des Plaines River and the Jerome Creek spoil piles and, unfortunately, were not brought under control with prescribed burns. However, the work on this site did restore and enhance the native ecosystems.

By 1990, only 13.6 percent of the Des Plaines River watershed was covered by native ecosystems<sup>3</sup>. About half of the original wetland, 0.2 percent of the original prairie, and virtually none of the original savanna remained in the watershed. About 5.6 percent of the watershed was now woodland, but not all of it original. Because of a lack of fire, some undisturbed land such as remnant prairie and savanna, and fallow agricultural lands grew into woodlands.

Ecosystem restoration activities throughout the watershed have been growing since the 1990s. In 1996, congress passed the 1996 Farm Bill, which simplified existing farm conservation programs, such as the Wetland Reserve Program and the Conservation Reserve Program, and created new ones. The bill gives landowners incentives to voluntarily enroll in land conservation programs. Programs included in the 1996 Farm Bill are the Conservation Reserve Program, Environmental Quality Incentives, Wetland Reserve Program, Wetland Conservation, and Wildlife Habitat Incentives Program. These programs are designed to reduce topsoil losses and agriculture's negative environmental impacts, and to improve stream quality and wildlife habitat throughout the United States. Thousands of acres of land in Kenosha County are enrolled annually in these conservation programs<sup>7</sup>. The NRCS oversees and monitors their outcomes, such as reduced soil erosion and wetland gains and losses. These programs will help to reduce flash flooding, nutrient loads, and sediment deposition in the Des Plaines River.

Sometime between 1985 and 1987 a quarter mile road was excavated in the west portion of the property and may have been used as a private racing strip. The road is excavated down several feet from the surrounding land. It is not clear where the excavated material was deposited—if it was deposited on site or used as fill elsewhere.

Currently, development within the Des Plaines River watershed continues to convert natural vegetation and agricultural fields to commercial and industrial sites, subdivisions, and widened roads, creating large areas of impermeable surfaces that prevent water from infiltrating into the soil and groundwater. Water runoff from these surfaces can pick up pollutants and nutrients that, unless captured in detention or retention basins, can enter the Des Plaines River and its tributaries and have a negative impact on the watershed.

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<sup>7</sup> NRCS Wisconsin Area 4: Southeast Wisconsin, Union Grove Service Center.



## CURRENT LANDSCAPE

While past land use has had a negative impact on the site, high quality natural areas still exist (Figure 9). In its 1997 Planning Report Number 42: *A Regional Natural Areas and Critical Species Habitat and Protection Plan for Southeastern Wisconsin*, SEWRPC calls this area the Des Plaines River Lowlands and describes it as:

Extensive wetland and upland complex along the Des Plaines River, significant because of its open space and wildlife habitat. Contains xeric oak woods, mesic and wet-mesic prairie, fresh (wet) meadow, and riverine forest.

Slight elevation changes influence the plant communities at this site. Elevations from about 668 to 670 feet above mean sea level support two distinct shallow marsh communities. At about 668-669 feet the marsh communities are dominated by river bulrush (*Bolboschoenus fluviatilis*). Elevations from about 669 to 670 feet support marsh communities dominated by native<sup>8</sup> reed grass (*Phragmites australis*). These two shallow marsh communities are the least impacted wetland types in the project area. Because the land of these shallow marshes is saturated, often covered in standing water, this land was likely too wet for past agriculture activities and too low to drain. The current threat to these shallow marsh types is the invasion by non-native reed grass (also *Phragmites australis*), which is a much larger and aggressive plant, often developing into a large monoculture in the areas it invades. Non-native reed grass is found growing throughout the Village of Pleasant Prairie, including Prairie Springs Park, and along the interstate highways and roadways that surround the project area. This plant is a severe ecological threat to Prairie Springs Park Natural Area.

Elevations from about 670 to 672 feet support cattail marsh, and sedge meadow, wet (fresh) meadow, wet prairie, and shrub-carr communities. Cattail marsh is associated with the deeper, shallow marsh and wetland creation areas and is mixed with the native common cattail (*Typha latifolia*), the non-native narrow-leaved cattail (*Typha angustifolia*), and the hybrid of the two (*Typha x glauca*). Cattails can be invasive, forming monocultures, but the non-native cattail, and its hybrid, are more problematic in that they can tolerate a wider range of conditions and will crowd out more native plant species and impact site biodiversity. While elimination of all cattail is not necessary, some management will prevent its spread, such as eliminating small and new stands that become established.

The sedge meadow, wet (fresh) meadow, wet prairie, and shrub-carr communities, also at elevations of about 670 to 672 feet, are the plant communities most impacted by invasive reed canary grass, particularly the areas that have been disturbed by marsh haying, ditching, and sediment deposits. The best remnants of sedge meadow, prairie, and shrub-carr are growing east of the Des Plaines River, north of Jerome Creek, and west of the wetland mitigation/prairie restoration area. This is an area that had the least agricultural

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<sup>8</sup> Samples were submitted to both the Wisconsin State Herbarium and Cornell University on September 29, 2006 and were confirmed to be the native variety of *Phragmites australis*.

impact on the site. West of the Des Plaines River, these communities are interspersed with reed canary grass.

Elevations from 672 to 674 feet support wet-mesic to mesic prairie and are most impacted by invasive woody vegetation such as buckthorn (*Rhamnus cathartica*) and non-native bush honeysuckles (*Lonicera* sp.), though gray dogwood (*Cornus racemosa*) and other native woody species are also impacting these areas due to a lack of fire (Figure 10). Some of these areas are completely covered in a dense thicket of brush, dominated by buckthorn and honeysuckle. On the west side of the Des Plaines River, these areas, and higher elevations, were put into agricultural use. The southwest corner of the project area where UT-7 comes through the property, there is a particularly dense stand of reed canary grass, with trees beginning to fill in along the tributary. The variety of reed canary grass growing here grows much taller (6+ feet) than some of the other varieties growing nearby. It appears that this area was probably plowed and planted, possibly with reed canary grass for marsh hay or grazing. The lower, wetter area to the east was probably just mowed for marsh hay, with reed canary grass broadcast seeded sometime earlier.

The areas higher than 674 feet in elevation are the upland areas of the site that are planted as prairie restorations, or are the fallow agricultural fields that are transitioning from meadow vegetation, such as aster, goldenrod, and Kentucky blue grass, to woody vegetation. The prairie restoration areas are performing well, though are in need of fire management. Woody vegetation, such as buckthorn, gray dogwood, multiflora rose (*Rosa multiflora*), and green ash (*Fraxinus pennsylvanica*) are becoming established on the River Road cul-de-sac prairie restoration, with reed canary grass also moving in.

## MANAGEMENT/RESTORATION RECOMMENDATIONS

The management and restoration recommendations in this plan focus on restoring the historic ecosystems within the project area, following recommendations outlined in the Wisconsin Department of Natural Resources report PUBL WT-701-2002, *The State of the Southeast Fox River Basin*, specifically:

- Manage wetlands to protect diversity of species, wildlife health and ecological integrity
- Burning grasslands and prairies to restore and maintain native prairie species

The plan activities focus on eradicating invasive species to enhance native species diversity and wildlife habitat, while managing potential negative impacts on Species of Greatest Conservation Need (SGCN) identified in the Wisconsin Wildlife Action Plan<sup>9</sup> developed by WDNR. While habitat enhancement will ultimately benefit these SGCN,

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<sup>9</sup> The Wisconsin Wildlife Action Plan was developed following the creation of the Federal State Wildlife Grants Program, which seeks to prevent wildlife from becoming endangered. Each state is required to prepare a Wildlife Action Plan to remain eligible for funding and must focus on "Species of Greatest Conservation Need".



breeding and nesting habitat, and the species themselves may be negatively impacted as ecosystem management and restoration activities are carried out. A list of the vertebrate SGCN that may possibly use the site, along with their habitat needs and special considerations, is provided in Table 2.

The management and restoration recommendations range from relatively straightforward tasks, such as woody vegetation removal, to more complicated tasks requiring detailed planning, floodplain modeling, engineering, and permitting. The recommendations are grouped into six areas: 1. Remove undesirable woody species; 2. Develop and begin a prescribe burn regime; 3. Control reed canary grass; 4. Control non-native *Phragmites* in and around Prairie Springs Park; 5. Monitor and control other invasive species; and 6. Possible stream restoration and enhancement projects. Woody vegetation management, prescribed burns, reed canary grass and *Phragmites* control, and invasive species monitoring and control, are long-term activities that will be required in perpetuity to maintain ecosystem integrity. The stream enhancement and restoration projects will require the creation of advisory teams made up of individuals from organizations and agencies such as Ducks Unlimited, WDNR, FWS, U.S. Army Corps of Engineers (ACOE) and others who have the expertise to develop appropriate and achievable plans for this site.

The project area is divided into three management units: Jerome Creek Unit, River Road Unit, and the Frontage Road Unit (Figure 11).

#### **WOODY VEGETATION REMOVAL**

Historically, periodic fires controlled the spread of trees and shrubs on this site, allowing the development of the marsh, sedge meadow, prairie, and savanna communities. With the suppression of fire and the introduction of invasive, non-native woody species, native prairie communities on this site are overgrown with woody vegetation that have spread and formed dense thickets, crowding out the native plant communities. Prescribed burns are not always effective at killing and eliminating woody vegetation once it is well established. For prescribed burns to be most effective the undesirable woody vegetation should first be eradicated.

The goal is not to eliminate all of the shrubs and trees. Some wildlife species require a variety of habitats for their lifecycle. For example, both the Eastern Massasauga Rattlesnake and Blanding's Turtle require brushy or shady areas for thermoregulation, and some birds require shrubs for nesting. Willows, dogwoods, meadowsweet, elderberry, hawthorn and oaks are native woody species that naturally occur within ecosystem complexes such as the ones found on this site. The most problematic shrubs are the non-native, invasive species buckthorn (*Rhamnus cathartica*), the bush honeysuckles (*Lonicera* sp.), and multiflora rose (*Rosa multiflora*), which form dense thickets. Birds eat the fruit and spread the seeds of these species. These shrubs are found growing on the on the slightly dryer elevations and on upland areas of the site. In some areas, native shrubs and trees will also be removed to restore native prairie remnants and to manage the prairie restoration areas. Almost 30 acres of land require woody vegetation removal (Figure 12).

Two main techniques will be used to kill woody vegetation: tree girdling and cutting with herbicide stump treatment. Tree girdling will be used for large trees during the early summer and the cut and stump treatment method will be used on smaller trees and shrubs from November through March. Spray paint can be used to mark the trees to be girdled and the other woody vegetation to be removed, or in some cases, the woody vegetation to be saved. The locations of the trees to be girdled and brush to be removed and saved should be identified on a map to help track progress. Work should begin in the Jerome Creek Management Unit, then the River Road Management Unit, and finally the Frontage Road Management Unit, moving from the highest quality areas to areas that need the most restoration.

Girdling kills a tree by stopping the transport of food, eventually starving it to death. A cut is made all the way around the base of the trunk using a hatchet. The cut must be clear through the bark and about six inches above the ground. The tree should die in about a year, but should be checked for resprouting. Dead trees can provide nesting and perching sites for birds and do not need to be removed.

The cut and stump treatment method for woody vegetation removal works best with teams of about three or four individuals. Before the work begins, each team will need to know the specific boundaries of their work area and what, if any, woody vegetation needs to be saved. For each team, one person will have backpack sprayer with herbicide and is responsible for applying herbicide to freshly cut stumps—the quicker the herbicide application, the more effective it is; one person will be armed with a lopper to cut 1 ½ inch or less trunks/stems; one person will be armed with a chainsaw to cut larger diameter trunks; and one person will remove the cut brush and pile it for burning or prepare it for removal. The stumps must be cut close to the ground. A mechanical brush cutter may also be employed in upland areas with dense thickets of buckthorn and honeysuckle. Immediate stump herbicide application will also be required.

Each summer following girdling and cut and stump treatment work, the work areas need to be revisited to check for any resprouting.

There is ongoing research to improve the effectiveness of invasive plant eradication techniques, therefore, prior to beginning any cut and stump treatment activity, the WDNR's and the Invasive Plant Association of Wisconsin's (IPAW) invasive species websites should be reviewed for new methods or more effective herbicides for woody vegetation (buckthorn) management, [www.dnr.state.wi.us/invasives/plants.htm](http://www.dnr.state.wi.us/invasives/plants.htm) and [ipaw.org](http://ipaw.org), respectively.

### **PRESCRIBED BURNS**

A prescribed burn is a method to reintroduce fire to an area that historically was shaped by fire, such as our native prairie and savanna. Prescribed burns can increase plant diversity and control woody vegetation establishment in prairie and wetland communities. A prescribed burn has to be used with caution to have the least negative impact on wildlife. Early spring and late fall burns are the best time to prevent harm to



Blanding's Turtle and the Eastern Massasauga Rattlesnake, which should hibernating, and the many bird species that have either not arrived or have left on their migration. Unfortunately, early spring and late fall burns are the most beneficial to reed canary grass. Prescribed burns without attention to reed canary grass control can increase the density and spread of reed canary grass. This means that the prescribed burns will have to be coupled with summer management of reed canary grass to be the most effective.

Each prescribed burn will require the approval of a written plan that describes the area to be burned and the objectives of the burn. The plan includes the a map of the area, window of time for the burn, number and qualifications of personnel, acceptable weather conditions, smoke considerations, equipment, ignition and mop up plans, rehabilitation plan, other biological considerations, as well as contingency and safety plans (See Appendix B). Approval and permission to carry out the prescribed burn will come from the Village of Pleasant Prairie. The fire department should be contacted prior to the burn and may be present during the burn. All needed fire breaks must be in place at the time of the burn. Jerome Creek, the Des Plaines River, and roadways are considered fire breaks. In grassy areas, a wide mowed strip with a burned black line to remove fuel will serve as a fire break.

Each management unit (Jerome Creek, River Road, and Frontage Road) will be separate burn units, each requiring separate burn plans. Management units will be burned on different years so that some habitat is available for any displaced wildlife. Prescribed burns should be rotated among the management areas so that each area is burned once every three to five years. Ideally, invasive woody vegetation will be cleared prior to any prescribed burn.

Agencies and organizations may be available to provide expertise and personnel for the prescribed burns, such as the WDNR (Marty Johnson), TNC, Prairie Enthusiasts, and Pheasants Forever. Burn personnel required:

- Burn Boss: Takes the lead in planning and implementing the burn, and is the final authority on the burn.
- Squad/Line Boss: Directs a portion of the prescribed burn crew, usually 3-6 crew members.
- Crew Member: Has basic knowledge gained from formal training and experience to follow directions, with duties such as ignition, control, mop-up, suppression, monitoring, etc.
- Apprentice: Has insufficient prescribed burning training or experience to qualify as crew member. Must be given instructions on-site the day of the burn and must know the chain of command.

The Wisconsin Prescribed Fire Council provides training courses and workshops in prescribed burning. (See <http://www.prescribedfire.org/training.html>)

## REED CANARY GRASS CONTROL

Much work is currently underway to find the most effective control techniques for reed canary grass because it is so difficult to eradicate. It ranked number 1 in importance in the Invasive Plant Association of Wisconsin's survey of invasive plants<sup>10</sup>. In 2006, the Wisconsin Reed Canarygrass Working Group developed a table that provides information about different control practices, their effects, and management recommendations (see Appendix A). The recommendations below follow the information provided on that table.

Reed canary grass is growing in well-established monocultures and is also interspersed with native vegetation throughout the site (Figure 13). Control will require a variety of techniques. Also, early spring and late fall prescribed burns promote reed canary grass growth, so special emphasis on reed canary grass control must begin the first summer following a prescribed burn treatment. Some of the well-established monocultures of reed canary grass that are located on the spoil piles and sediment buildup along the banks of Jerome Creek and the Des Plaines River may be most effectively treated by excavation of the spoil piles and sediment and restoring native vegetation, which could possibly occur during future stream restoration activities such as the Jerome Creek meander creation and the Des Plaines River streambank restoration (see below).

Localized control of reed canary grass will begin by eradicating it from, or preventing its spread into, the prairie remnants and sedge meadows using cutting (machete or shears) and grass-specific herbicide application. Grass-specific herbicides are not labeled for aquatic use and should not be used if standing water is present.

Cut reed canary grass to a height of about six inches as it begins to bloom, but before it sets seed, to deplete energy reserves in the rhizomes. Blooming occurs in June. Use of a GPS will be helpful to mark waypoint locations where reed canary grass was cut and to keep track of treatment areas. When new growth reaches six to twelve inches (after about a month or longer), apply a grass-specific herbicide, such as sethoxydim or fluazifop, using a driplless wick applicator or backpack sprayer and applying the herbicide directly on the new leaves, but not during summer dormancy if weather conditions have been exceptionally dry. If droughty conditions and dormancy do occur, wait to apply herbicide until growth is active again. Grass-specific herbicides are most effective when temperatures are greater than 70 degrees Fahrenheit, and some lose effectiveness in bright sunlight. Care must be taken to avoid applying the grass-specific herbicide on native grasses. Several seasons of treatment may be required. This technique will also be used in areas where brush and woody vegetation was recently removed to prevent reed canary grass's spread into the newly cleared areas. The dense stands of reed canary grass can also be treated using this method by treating a portion of a stand each year and gradually reducing the stand size.

Control of reed canary grass will be time consuming and will be ongoing for many years.

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<sup>10</sup> [http://ipaw.org/invasaders/reed\\_canary\\_grass/index.htm](http://ipaw.org/invasaders/reed_canary_grass/index.htm). Retrieved 4/16/07.



## **NATIVE SEED COLLECTING & SPREADING**

It is important to revegetate areas with native plants following any activities that leave the soils bare or open so that invasion by invasive species is prevented. An inexpensive and ecologically beneficial way to revegetate is to collect native seed from surrounding areas and sow or broadcast them into these areas. Seed collection should begin in the fall after seeds have ripened and can be seeded into new sites immediately. Seeds collected in sedge meadows should be seeded into sedge meadow areas. Likewise, seeds collected from prairie remnants should be seeded into prairie remnant areas. New growth in seeded areas may take several years to fill in.

## **COMMON REED GRASS CONTROL**

The non-native, invasive variety of common reed grass (*Phragmites australis*) poses a severe threat to the Prairie Springs Park Natural Area's marshes. It is a very aggressive plant, forming dense monocultures and crowding out native species. A real concern with the non-native variety is that it can interbreed with the native *Phragmites* growing on the site, producing aggressive, invasive hybrids. The non-native *Phragmites* is found growing in Prairie Springs Park and along the I-94 Frontage Road, STH 165, and CTH H. All attempts should be made to eradicate this plant, especially in areas surrounding the Prairie Springs Park Natural Area because it will severely alter the ecology of the site if it does invade.

Currently, the most effective control method is the foliar application of the herbicide Habitat (Imazapyr) during early fall. WDNR found that a foliar application of 1.25 percent of Habitat with crop oil was close to 100 percent effective if applied later in the growing season (see Appendix A). The plants do not die immediately, but will be dead the following year.

Control of the invasive *Phragmites* should begin as soon as possible.

Stands of the native *Phragmites* will require monitoring to determine if possible hybridized strains are present. If the presence of hybridized strains is suspected, flowering tops should be removed before seed is ripe and these plants should be treated as above, along with a buffer of plants surrounding them.

## **INVASIVE SPECIES MONITORING & CONTROL (OTHER SPECIES)**

The threat of invasive plant species will always be present and new invasive species will likely be introduced in the future. Currently, white-sweet clover (*Melilotus alba*) is growing in the River Road cul-de-sac prairie restoration area. It is not as severe of a threat as reed canary grass. It can easily be controlled by prescribed burns and pulling. Purple loosestrife (*Lythrum salicaria*) is a potential threat that can be difficult to eradicate. Currently, *Galerucella* beetles are being used in Wisconsin as a biological control method for large populations.

Quick identification and eradication of new invasions is one of the best strategies for invasive species management.

The WDNR and IPAW invasive species websites should be checked regularly to learn about any new invasive threats to the area and to keep up-to-date with control techniques, [www.dnr.state.wi.us/invasives/](http://www.dnr.state.wi.us/invasives/) and [ipaw.org](http://ipaw.org), respectively.

## **FUTURE STREAM CORRIDOR RESTORATION & ENHANCEMENT**

There are several opportunities to improve the water quality and ecology of the sections of the Des Plaines River and Jerome Creek that flow through the Prairie Springs Park Natural Area. These restoration and enhancement opportunities would require the creation of advisory teams made up of individuals from organizations and agencies such as Ducks Unlimited, WDNR, FWS, ACOE, and others who have the expertise to develop appropriate and achievable plans for this site.

During April of 2005, a biologist from Ducks Unlimited visited the project area to determine whether the property could be enhanced for waterfowl. Among his recommendations was to restore some of the hydrology along Jerome Creek by removing the spoil piles and creating a meander to slow the flow of water and allowing it to spill onto its floodplain during high water events. This will improve water quality by reducing sediment flows into the Des Plaines River and will reduce flood impacts downstream. Restoring native vegetation along the meander banks will improve fish spawning and feeding habitat in Jerome Creek.

Before meander creation planning can begin, floodplain modeling is necessary to determine how the change in water flow might affect areas upstream. SEWRPC has indicated that they could do the modeling, but will require a written request from the Village of Pleasant Prairie. For a general floodplain study there would be no charge to the Village. After SEWRPC receives a request, it may be six months or longer before the modeling is completed. If the Village decides to move ahead with this request, they could request a floodplain study for a larger area that includes the any potential future projects within the floodplain.

If floodplain modeling indicates that upstream flooding could occur with the meander creation, there may be opportunities to restore other wetlands upstream to provide stormwater storage areas that could reduce or eliminate potential flooding.

Other suggestions by Ducks Unlimited could impact neighboring properties and would require cooperation by all affected landowners (see Appendix D).

A second stream restoration and enhancement opportunity is to restore the steambanks where the Des Plaines River channel was moved to flow along the section line. It is not necessary to move the channel. Lowering the banks and restoring native vegetation will improve water quality and stream ecology. Currently, two or more feet of sediment lay on top of the native vegetation along the banks of the Des Plaines River, from the north property boundary to Jerome Creek. By recontouring the banks to a gradual slope, the Des Plaines River can spill over onto the floodplain during high water events. This will



eliminate undercutting of the banks, thereby reducing the amount of sediment deposition into the river. Restoring native vegetation along the banks will also provide fish spawning and feeding habitat in the Des Plaines River.

## **RESEARCH OPPORTUNITIES**

### **VEGETATION SURVEYS AND POPULATION MONITORING**

Vegetation surveys and plant species population monitoring can be a very useful tool for assessing the impact of management activities. Two types of vegetation surveys can be implemented: long-term sampling of permanent sampling quadrats along transect lines and detailed plant surveys. Long-term sampling of permanent sampling quadrats will help determine whether ecological management at the site is increasing the overall plant diversity and decreasing invasive plant species. Detailed vegetation surveys can be used to identify the locations of rare plant populations. Long-term monitoring of these populations can include documenting the area covered by the populations, number of individual plants in each population, and whether the populations are reproducing. The locations of rare plant populations should be kept confidential due to the risk of poaching. Protocols for permanent quadrat sampling and population monitoring should be developed so that data collection is consistent, allowing data analysis across years.

### **STREAM HABITAT MONITORING**

Stream habitat monitoring for fish and macroinvertebrate communities can help determine river water quality. WDNR has developed standardized protocols for stream habitat sampling and can use the data collected using these protocols to determine whether water quality is improving or declining. Baseline stream habitat monitoring can help determine whether future stream enhancement activities such as creating meanders in ditched streams and relaxing stream banks by removing accumulated sediments and restoring native vegetation does improve water quality and wildlife habitat. Stream habitat monitoring led by trained instructors can be accomplished as a classroom activity at the high school or college level.

### **WILDLIFE MONITORING & SURVEYS**

Comprehensive wildlife surveys can help determine what species are using this site during all or a part of their lifecycle. Understanding what species use the Prairie Springs Park Natural Area is an important part of designing and implementing ecological management and restoration activities, as well as documenting the success of management activities. Wildlife surveys of birds, mammals, reptiles, amphibians, and invertebrates can help fill gaps in existing state wildlife data. Many wildlife survey opportunities exist for the Prairie Springs Park Natural Area, especially surveys for Wisconsin's Species of Greatest Conservation Need (see Table 2). Examples include:

- **Wisconsin Frog & Toad Survey:** The Wisconsin Frog and Toad Survey (WFTS) is a citizen-based monitoring program coordinated by the WDNR, in

cooperation with the U.S. Geological Survey (USGS) and the North American Amphibian Monitoring Program (NAAMP). The primary purpose of the WFTS is to determine the status, distribution, and long-term population trends of Wisconsin's thirteen frog species. The WFTS was initiated in 1981 in response to known and suspected declines in several Wisconsin species, particularly northern leopard frogs (*Rana pipiens*), Blanchard's cricket frogs (*Acris crepitans blanchardi*), pickerel frogs (*Rana palustris*), and bullfrogs (*Rana catesbeiana*). The WFTS began annual statewide surveys in 1984 and is now one of the longest running amphibian monitoring projects in North America.<sup>11</sup>

- **Eastern Massasauga Rattlesnake & Blanding's Turtle Surveys:** There are no documented surveys for the Eastern Massasauga Rattlesnake or Blanding's Turtle in this area. Long-term surveys will help determine whether these species are present, their population size, and any impact of management activities. These surveys can be conducted by volunteer herpetologists, or by paid professionals.
- **Bird Blitz Surveys:** Participate in the Chicago Wilderness Breeding Bird Blitz Surveys every June. Kenosha County is included in the Chicago Wilderness Biodiversity Recovery Plan. The Breeding Bird Blitz is a one-day event in mid-June that begins at dawn (~5:00 a.m.) until 10:00 a.m. Experienced volunteer birders are assigned specific survey areas within a larger project area and document the birds they see or hear following the protocols developed by Chicago Wilderness. The data is collected and analyzed by Chicago Wilderness, which then identifies trends in area bird populations. For 2007, the emphasis is on shrubland birds. During spring 2005, Kenosha/Racine Land Trust sponsored a Grassland Bird Blitz on this site and has the bird data that was collected during the blitz.
- **Hine's Emerald Dragonfly (*Somatochlora hineana*) Survey:** This dragonfly is listed as both federally and state endangered. It is known to exist in the lower Des Plaines River valley in Illinois, the Upper Peninsula of Michigan, and in Door County and Cedarburg Bog, Wisconsin.<sup>12</sup> It occupies marshes and sedge meadows fed by calcareous groundwater seepage and underlain by dolomite bedrock. The geology and habitat of Prairie Springs Park Natural Area could support populations of the Hine's Emerald Dragonfly. Surveys could determine whether this species is present at this site.

## TRAILS

The large expanse of the Prairie Springs Park Natural Area makes it a desirable location for a trail system. Its many different native habitat types offer a great opportunity for public education, especially as habitat restoration work begins. The challenge of establishing a trail system is how low and wet much of the landscape is. To provide

<sup>11</sup> <http://inventory.wiatri.net/frogtoadsurvey/index.cfm>. Retrieved 4/16/07

<sup>12</sup> US Fish & Wildlife Service. 2001. Hine's Emerald Dragonfly (*Somatochlora hineana*) Recovery Plan. Fort Snelling, MN. 120 p.



public access while maintaining the ecological integrity of the vast wetland communities will require careful planning of trail routes and generous use of boardwalks.

Currently, the Village of Pleasant Prairie is planning to build a bridge across the Des Plaines River from the Prairie Springs Park oak woods located on the west end of Park Drive to the River Road Management Unit. The bridge, a boardwalk, and trail, will link Prairie Spring Park to the Prairie Springs Park Natural Area, and to River Road, which will become part of a regional trail system. The River Road cul-de-sac prairie restoration area is one of the drier areas on the site and good location to establish the first trail route. A proposed route could loop around and through this prairie restoration area (Figure 14). Any extensions of this trail route to access the Jerome Creek Management Unit or the Frontage Road Management Unit would require a bridge or a boardwalk, respectively.

Figure 1. Des Plaines River Watershed Environmental Corridors

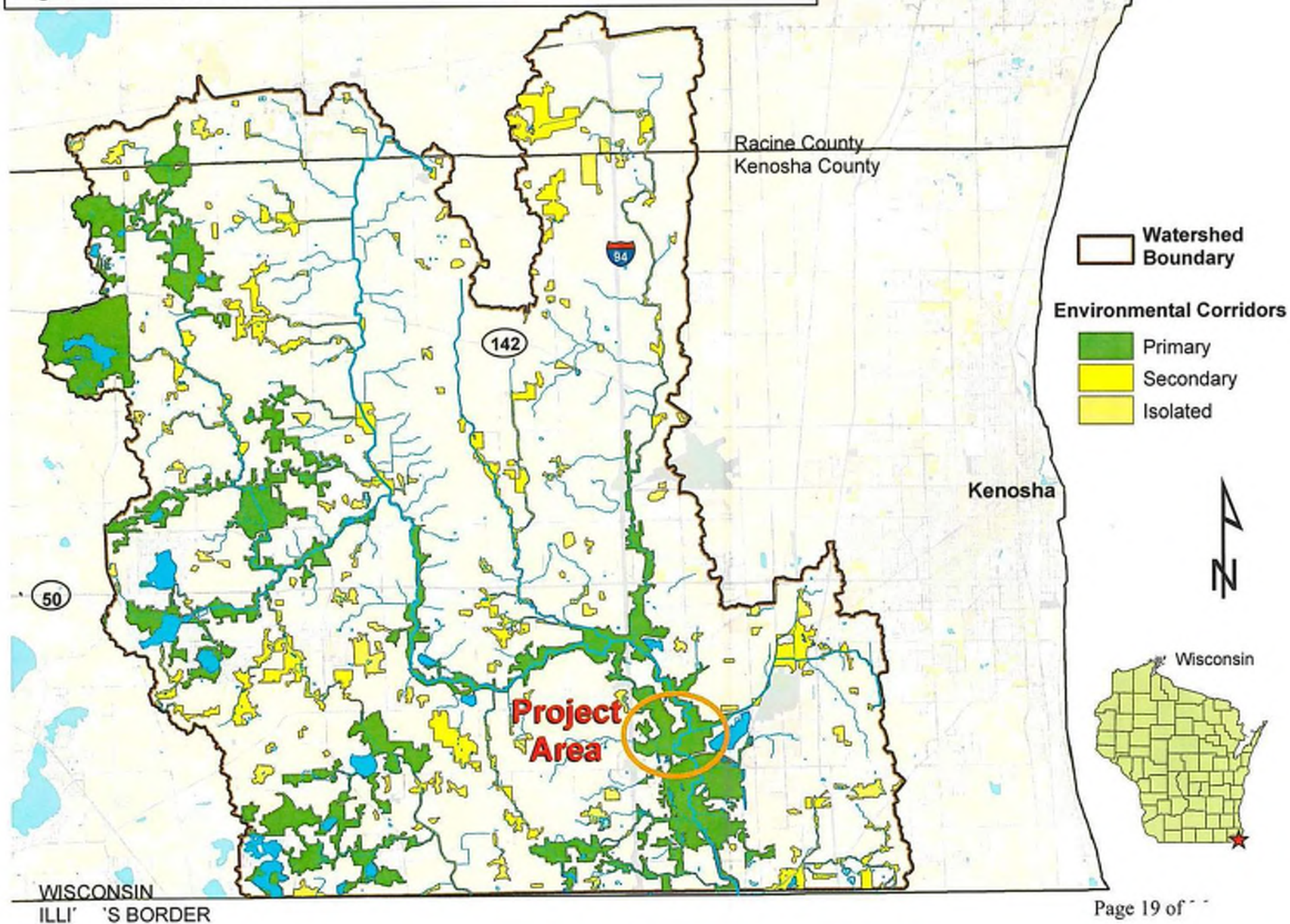




Figure 2. Project Area





Figure 3. 1836 Surveyor Field Notes & Illustration for T1N, R22E

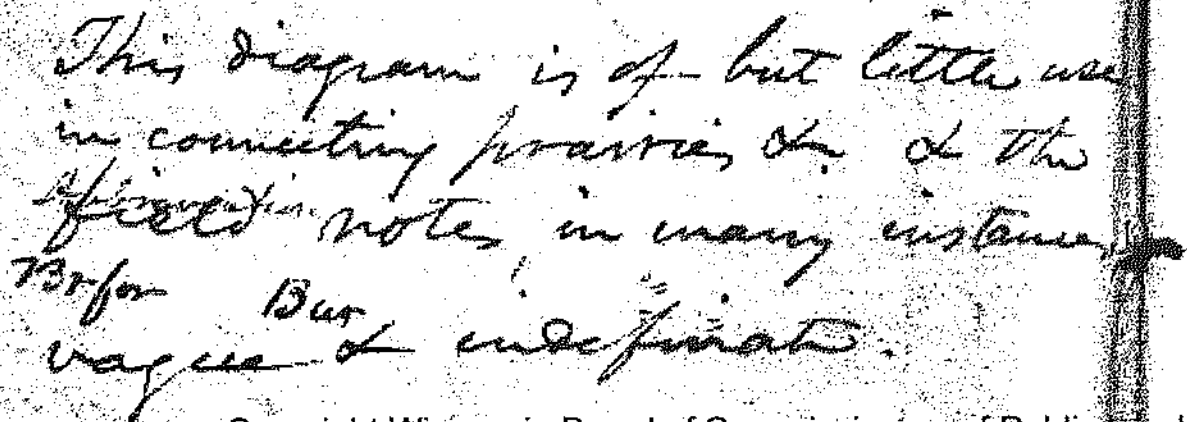




Figure 4. Soils & Associated Vegetation

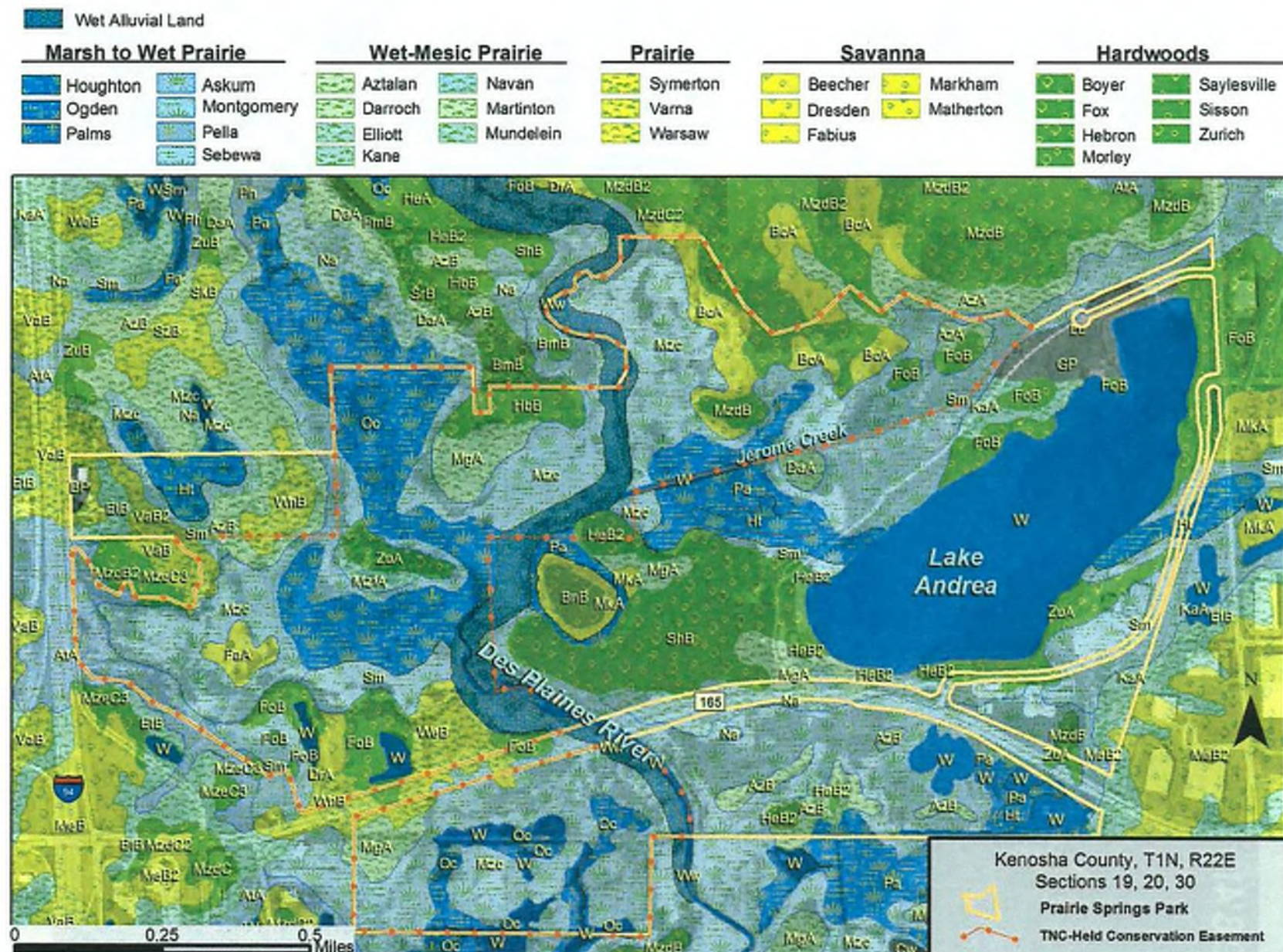




Figure 5. 1941 Aerial Photo of the Project Area (10/28/41)





Figure 6. 1908 Plat Map of Pleasant Prairie Township

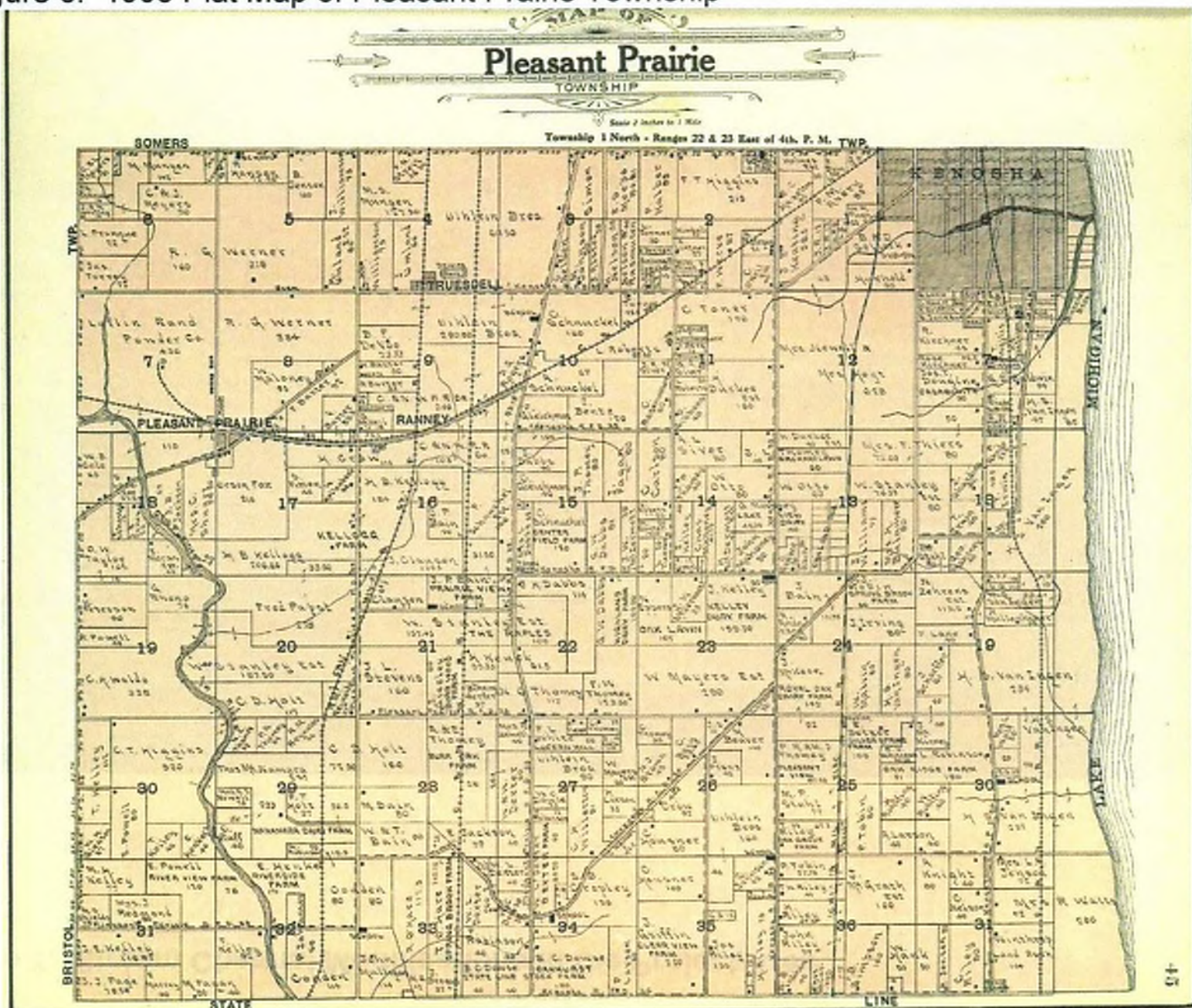




Figure 7. Stream Channel Modifications in the Project Area





**Figure 8. Wetland Mitigation & Prairie Restoration Locations**

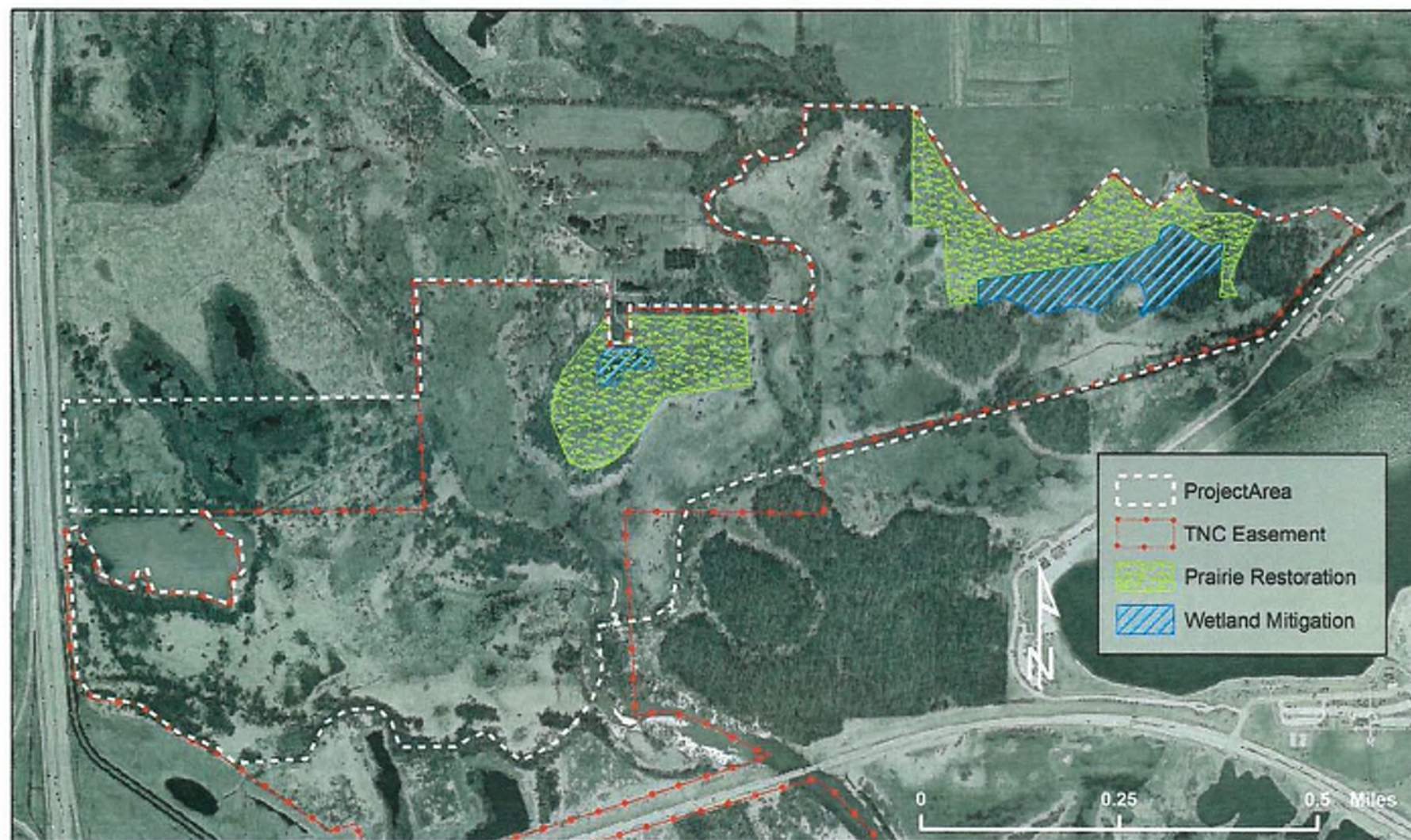
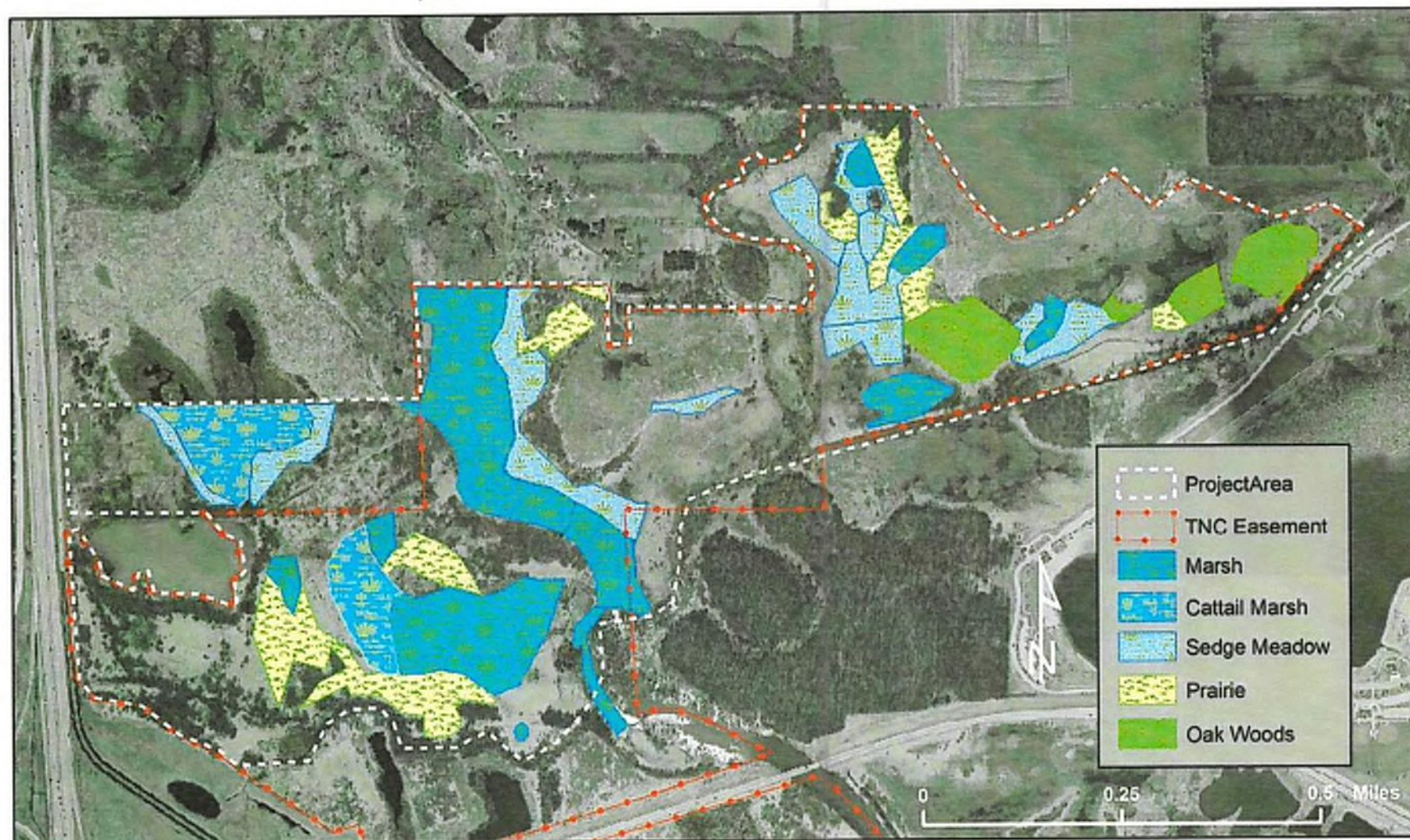
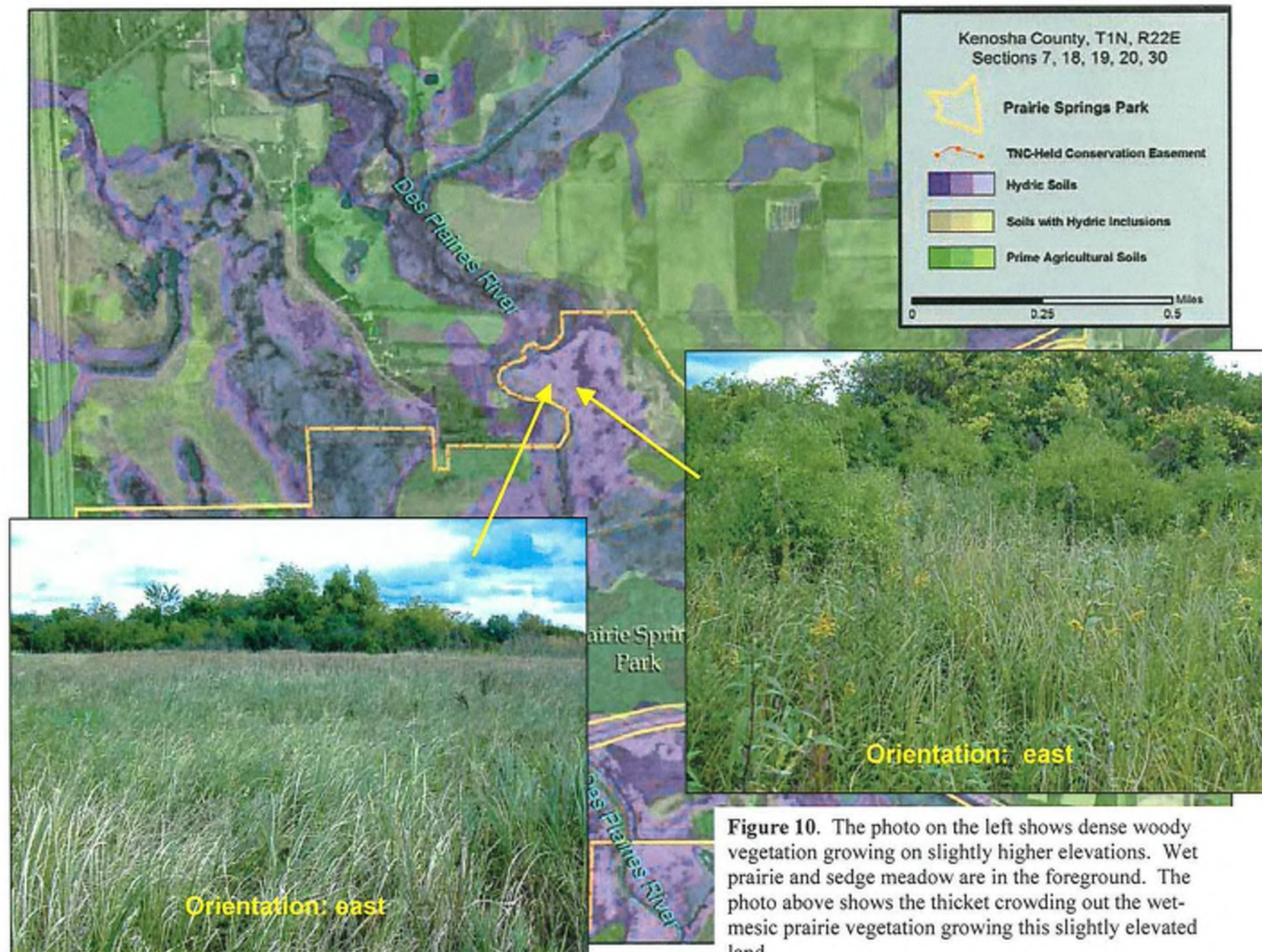




Figure 9. Remaining Natural Communities in the Project Area







**Figure 10.** The photo on the left shows dense woody vegetation growing on slightly higher elevations. Wet prairie and sedge meadow are in the foreground. The photo above shows the thicket crowding out the wet-mesic prairie vegetation growing this slightly elevated land.



Figure 11. Management Units

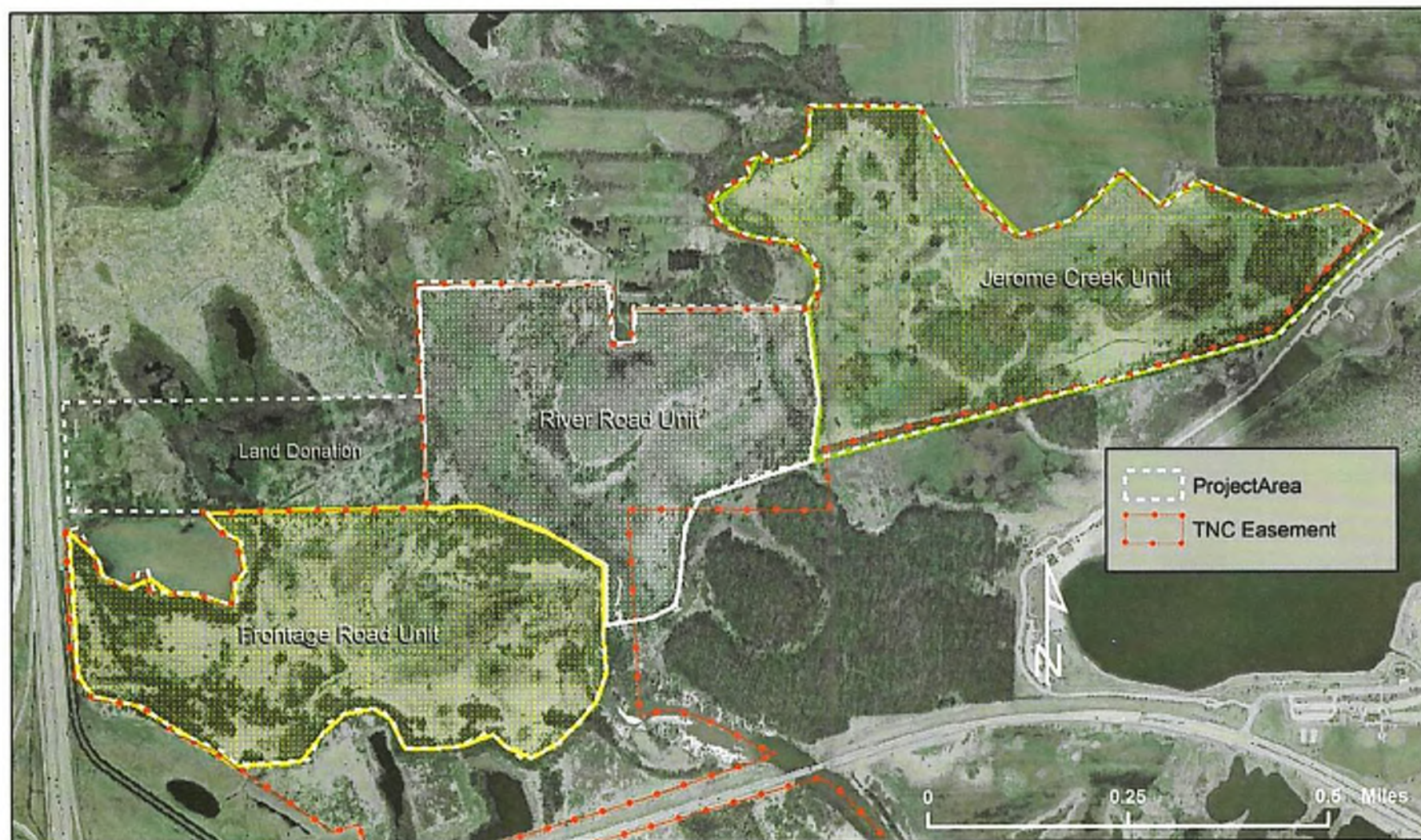




Figure 12. Woody Vegetation Management Areas





**Figure 13. Major Reed Canary Grass Management Areas**

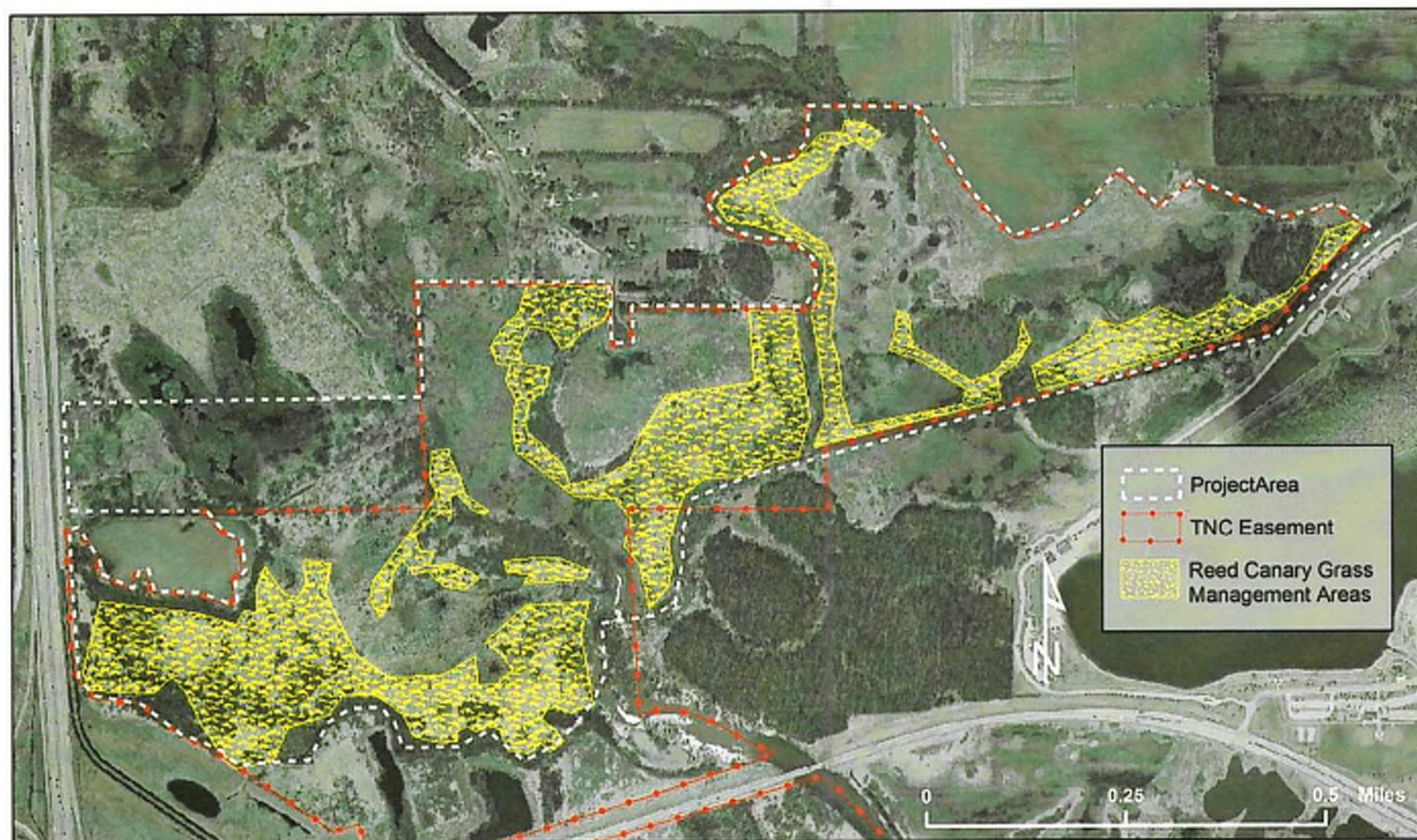




Figure 14. Proposed Trail Route



**Table 1. Soil Series Description**

Symbol	Series	Series Description	Native Vegetation
AzB, AzA	Aztalan	Very deep, somewhat poorly drained soils formed in loamy outwash and in the underlying mostly clayey and silty stratified lacustrine deposits on glacial lake basins and stream terraces. Permeability is moderate in the loamy outwash and moderately slow in the stratified lacustrine deposit. Slope ranges from 0 to 6 percent.	Prairie grasses with a few trees.
BcA	Beecher	Somewhat poorly drained, slowly permeable soils on moraines and till plains. They formed in up to 18 inches of silty material and silty clay loam or clay loam glacial till. They are moderately deep or deep to dense till. Slopes range from 0 to 6 percent.	Mixture of hardwood trees and prairie grasses.
BnB	Boyer	Very deep, well drained soils formed in sandy and loamy glacial drift underlain by sand or gravelly sand outwash at depths of 20 to 40 inches. The soils are on outwash plains, valley train, kames, beach ridges, river terraces, lake terraces, deltas and moraines. Permeability is moderately rapid in the loamy horizons and very rapid in the sandy horizons. Slopes range from 0 to 50 percent.	The dominant forest trees are oaks, hickories, and maples.
DaA	Darroch	Very deep, somewhat poorly drained soils that formed in silty and loamy sediments. Permeability is moderate. These soils are on lake plains, outwash plains, and till plains. Slopes range from 0 to 3 percent.	Prairie grasses.
FoB	Fox	Very deep, well drained soils which are moderately deep to stratified calcareous sandy outwash. These soils formed in thin loess and in loamy alluvium or just in loamy alluvium overlying stratified calcareous sandy outwash on outwash plains, stream terraces, valley trains, kames, and glacial moraines. Permeability is moderate in the loamy mantle and rapid or very rapid in the outwash. Slopes range from 0 to 35 percent.	Hardwood forest. Common trees are northern red oak, white oak, sugar maple, black cherry, and white ash.
HbB, HeB2	Hebron	Very deep, moderately well drained soils formed in loamy outwash and in the underlying mostly clayey and silty stratified lacustrine deposits on glacial lake basins and stream terraces. Permeability is moderate in the loamy outwash and moderately slow in the stratified lacustrine deposits. Slope ranges from 0 to 6 percent. Also, at least some of the areas correlated as Hebron are formed in loamy outwash over clayey till. This includes at least some of the acreage in the Kenosha-Racine survey and possibly in the Milwaukee-Waukesha, Ozaukee, and Washington surveys. These areas are outside the concept of the Hebron series. They need to be correlated to another (new?) series when these surveys are updated.	Mixed hardwood forest, mainly of oaks.
Ht	Houghton	Very deep, very poorly drained soils formed in herbaceous organic deposits more than 51 inches thick in closed depressions on lake plains, outwash plains, ground and end moraines and on floodplains. These soils have moderately slow to moderately rapid permeability. Slope ranges from 0 to 2 percent.	Primarily marsh grasses, sedges, reeds, buttonbush, and cattails. Some water-tolerant trees were near the margin of the bog.
MgA	Martinton	Very deep, somewhat poorly drained soils formed in lacustrine sediments on nearly level and gently sloping lake plains. Permeability is moderately slow. Slopes range from 0 to 6 percent.	Prairie grass.
MkA	Matherton	Very deep, somewhat poorly drained soils formed in loamy glaciofluvial material and gravelly or sandy outwash on outwash plains, valley trains, and stream terraces on terrace landscapes. Permeability is moderate in the loamy material and rapid or very rapid in the underlying material. Slope ranges from 0 to 6 percent.	Sparse hardwoods and prairie grasses.



Table 1 continued

Mzc	Montgomery	Consists of very deep, poorly drained or very poorly drained soils formed in fine-textured lacustrine sediments. They formed dominantly on broad flats and on slight depressions of lake plains, and to a lesser extent on slack water flood-plain steps. Slopes range from 0 to 1 percent.	Dominantly herbaceous wetland, with shrubs.
MzdB,	Morley	Very deep, moderately well drained soils formed in clay loam or silty clay loam till that can be capped with up to 18 inches of loess on till plains and moraines. They are moderately deep to dense till. Permeability is moderate to slow in the solum and very slow in the substratum. Slope ranges from 1 to 18 percent.	Mixed deciduous hardwood forest.
MzfA	Mundelcin	Very deep, somewhat poorly drained soils formed in loess or silty material and the underlying calcareous stratified loamy Wisconsinan outwash on outwash plains and lake plains. Permeability is moderate. Slope gradients range from 0 to 5 percent.	Water-tolerant grasses and shrubs.
Oc	Ogden	Mucky, very poorly drained soils that developed from soil remains. Clayey material is at a depth of less than 42 inches. These nearly level soils occur on flats and in depressions with Palms and Adrian soils.	Water-tolerant grasses, sedges, and shrubs.
Pa	Palms	Very deep, very poorly drained soils formed in herbaceous organic material 16 to 51 inches thick and the underlying loamy deposits in closed depressions on moraines, lake plains, till plains, outwash plains, and hillside seep areas, and on backswamps of flood plains. Permeability is moderately slow to moderately rapid in the organic material, and moderate or moderately slow in the loamy material. Slope ranges from 0 to 6 percent.	Marsh vegetation of grasses, reeds, and sedges; and alder, aspen, willow, and dogwood.
ShB	Saylesville	Very deep, well drained soils. They formed mostly in silty clay loam lacustrine deposits with a thin silty or loamy mantle on glacial lake basins, stream terraces, and slackwater areas. Permeability is moderately slow. Slope ranges from 0 to 40 percent.	Mixed hardwoods.
Sm	Sebewa	Very deep, poorly drained or very poorly drained soils formed in loamy outwash and the underlying gravelly and sandy outwash on outwash plains, valley trains, and stream terraces on terrace landscapes. They are moderately deep to the gravelly and sandy outwash. Permeability is moderate in the upper loamy materials and rapid or very rapid in the underlying gravelly and sandy materials. Slope ranges from 0 to 3 percent.	Water-tolerant grasses and shrubs.
WhB	Warsaw	Well drained soils formed in loamy sediments and in the underlying gravelly outwash on outwash plains, terraces, kames, and valley trains. These are very deep soils that are deep or very deep to calcareous, stratified gravelly or very gravelly coarse sand and sand. Permeability is moderate in the solum and very rapid in the underlying material. Slopes range from 0 to 15 percent.	Tall prairie grasses.
ZuA	Zurich	Very deep, moderately well drained, moderately permeable soils which formed in loess or silty material and in the underlying calcareous, loamy outwash. These soils occur on outwash plains. Slope ranges from 0 to 35 percent.	Hardwood forest of oak, hickory and maple.

Source: United States Department of Agriculture Soil Conservation Service. 1970. *Soil Survey: Kenosha and Racine Counties Wisconsin*. U.S. Government Printing Office.

**Table 2. Wisconsin Wildlife Action Plan: Wildlife Species of Greatest Conservation Need**

Species that may use Prairie Springs Park Natural Area during part of their lifecycle:

	Common Name	Scientific Name	Type*	Habitat Requirements	Special Considerations
<b>Mammals</b>	Prairie Vole	<i>Microtus ochrogaster</i>	Sc	Prairie, Grasslands, Pasture.	Unknown
	Franklin's Ground Squirrel	<i>Spermophilus franklinii</i>	Sc	Prairie, Savanna, Shrub.	Unknown
<b>Herptiles</b>	Blanding's Turtle	<i>Emydoidea blandingii</i>	Thr	Shallow marshes, slow moving rivers & streams, uplands. Hibernates in mud or debris under water.	Active Apr.-Nov.; early spring & fall mating, with egg-laying in June on uplands up to 1.5 mi from water. Sexually mature in 14-20 yrs.
	Eastern Massasauga Rattlesnake	<i>Sistrurus catenatus catenatus</i>	End	(1) open, sunlit intermixed with shaded areas for thermoregulatory purposes; (2) presence of the water table near the surface for hibernation; and (3) variable elevations between adjoining lowland and upland areas. <sup>1</sup>	Breeds spring & fall. Live young born in late Aug. Maintain open and shrub habitats.
<b>Birds<sup>2</sup></b>	American Bittern	<i>Botaurus lentiginosus</i>	Sc	Large wetland complexes with adjacent upland grass cover.	Migration begins early Apr. Egg laying from May to early Jun. Fall migration from Sep through Oct.
	American Woodcock	<i>Scolopax minor</i>	Sc	Forest edges next to wetlands.	Migration begins Mar.-Apr. Ground-nesting, with egg laying in Apr.- Jun. Fall migration from Sep. – Oct.
	Blue-winged Teal	<i>Anas discors</i>	Sc	Wetlands, shallow marshes, creeks, sloughs, & rivers.	Migration begins mid-Apr Egg laying from mid-Apr to mid-Jul. Fall migration begins mid-Aug through Oct.
	King Rail	<i>Rallus elegans</i>	Sc	Marshes.	Migration begins late Apr to early May. Egg laying from mid-May to early July. Fall migration from mid-Aug through Sep.
	Short-eared Owl	<i>Asio flammeus</i>	Sc	Grasslands. Meadow voles are its main prey.	Migration begins mid-Mar to early May. Nest on ground in grassy vegetation. Egg laying late Apr to early May. Fall migration from Oct through Nov.



Table 2 continued

	Willow Flycatcher	<i>Empidonax traillii</i>		Prefers lowland shrubby habitat for breeding.	Migration from mid-May to early Jun. Egg laying in Jun. Fall migration from Aug to mid-Sep.
	Bobolink	<i>Dolichonyx oryzivorus</i>	Sc	Large, open grasslands, with somewhat dense vegetation, pastures, old-fields, and alfalfa fields.	Migration begins late Apr - May. Egg laying May- Jun. Fall migration from late Jul - early Sep.
	Brown Thrasher	<i>Toxostoma rufum</i>	Sc	Shrubby hedgerows, upland forest	Migration begins Apr-May. Nests in dense shrubs. Egg laying from May-Aug. Fall migration Sep-Oct.
	Eastern Meadow Lark	<i>Sturnella magna</i>	Sc	Grasslands, pasture, old-fields, hayfields	Migration begin Feb through Mar. Egg laying mid-May to early Jul. Usually has two broods. Fall migration from mid-Sep to early Nov.
	Northern Harrier	<i>Circus cyaneus</i>	Sc	Grasslands and marshes.	Long migration period from late Feb-May. Ground-nesting, with egg laying beginning in late Apr. Fall migration mid Aug-mid Nov.
	Marbled Godwit	<i>Limosa fedoa</i>	Sc	Ephemeral mudflats and shallow flooded fields	-
	Buff Breasted Sandpiper	<i>Tryngites subruficollis</i>	Sc	Ephemeral mudflats and shallow flooded fields	-
	Bell's Vireo	<i>Vireo bellii</i>	Thr	Grasslands, shrub carr, upland woods.	Migration begins May-Jun. Nests in shrubby areas, with egg laying late May to Jul. Fall migration Aug-Sep.
	Field Sparrow	<i>Spizella pusilla</i>	Sc	Grassland, shrub carr, shrubby areas, forest edges	Migration is in Apr. Nests in grasses or low in shrub, with egg laying in May. Fall migration from Sep-Oct.
	Henslow's Sparrow	<i>Ammodramus henslowii</i>	Thr	Grasslands, sedge meadows	Migration begins Apr-May. Egg laying is from late May to mid Jul. Fall migration begins mid Aug-mid Oct.
	Dicksissel	<i>Spiza americana</i>	Sc	Grasslands, fallow fields, savannas.	Migration begins May-Jun. Egg laying from late May-early Aug. Fall migration from late Jul-late Aug.

\* End = Endangered  
 Thr = Threatened  
 Sc = Species of Concern

<sup>1</sup> Syzmanski, J. 1998. Status Assessment of the Eastern Massasauga (*Sistrurus c. cantenatus*). U.S. Fish & Wildlife Service.

<sup>2</sup> Habit requirements and special considerations for bird species are taken from Cutright, N., BR Harriman, and RW Howe. 2006. Atlas of the Breeding Birds of Wisconsin. Wisconsin Society for Ornithology. Waukasha, WI.

## Buckthorn Identification & Control

European buckthorn is a troublesome exotic invasive that spreads readily through woods and savannas. It is a major threat to Wisconsin's ecosystems.



*Invasion of a pine forest by buckthorn. Such a dense cover reduces light to the forest floor, thus effectively eliminating native vegetation.*

### Characteristics

Common buckthorn (*Rhamnus cathartica*) and its relative glossy buckthorn (*Rhamnus frangula*) are serious invaders of Wisconsin's wooded areas. They also commonly invade hedge rows of open fields, from which they may gradually spread throughout a whole field. Both common and glossy buckthorn are small trees or shrubs that can reach a height of 20-25 feet. Buckthorn most often grows as a shrub, where it may send out several shoots.

The outer bark is dark gray or brown, and when cut the inner bark is brown, red, or orange.

Buckthorn has separate male and female plants; the latter are often easy to recognize because they produce copious amounts of deep purple berries. It is especially important to remove the berry-producing plants, because they will otherwise be a constant source of infection for the area.

### Status

Buckthorn is of Eurasian origin and was introduced in North America as an ornamental. It was planted for hedge rows in Wisconsin as early as 1849. Despite its insidious nature, it is still legally sold in the state as an ornamental. It has become naturalized and has spread over most of the southern and eastern parts of the state. Buckthorn is an especially troublesome invader of natural oak savanna and oak woodland areas of southwestern Wisconsin.



*Characteristic orange inner bark of buckthorn. "Scratching the surface" is a good way of ensuring that one has a buckthorn plant.*



Many bird species relish buckthorn berries. However, the berries contain a chemical which acts as a laxative (hence the species name *cathartica*). The defecation by the birds insures the spread of the seeds through the habitat. Since female trees may produce abundant fruit, within a few years there can be thousands of buckthorn seedlings in the area of a mature tree. Buckthorn seeds are able to remain alive in the soil for years, and new seedlings will continue to appear for years after the plants have been removed from an area.

### Buckthorn threats

- Destroys wildlife habitat
- Replaces native vegetation
- Forms an impenetrable understory layer
- Causes long-term decline of a forest by preventing the growth of native tree seedlings



Leaves and fruit of common buckthorn, *Rhamnus cathartica*.

### Control

Early identification, before seed production has started, is vital. Small buckthorn seedlings can be readily removed by hand, or with the use of a "weed wrench." Although effective, mechanical removal disturbs the soil and encourages reinfestation or colonization of other weeds so that loose soil should be tamped down to make a firm surface.

### Fire

Controlled burns will usually top-kill seedlings or small buckthorn trees, but does not eradicate them. In order to control buckthorn by controlled burning, it is essential that fire be continued annually until native (fire-resistant) vegetation has become established. Use of fire is best reserved for fire-dependent ecosystems such as prairies or oak savannas.

### Herbicides

There are several herbicides that are very effective in control of buckthorn. One of the most effective is triclopyr (Garlon; Dow Agrochemical). When using an herbicide, it is essential that the label on the package be read completely before use.

### Basal bark treatment

An effective way to control buckthorn is by the use of basal bark treatment with Garlon in oil. Treatment is best done in the late fall or winter when native vegetation has died back and will not be affected. Because buckthorn plants retain their leaves long after native vegetation has lost its leaves, they are readily recognized in the late fall. A concentration of 12-15% triclopyr (active ingredient) in diesel fuel or kerosene is recommended by the manufacturer. Use the herbicide in a backpack sprayer with a nozzle that produces a solid cone or flat fan spray. Spray the lower part of the trunk in such a manner that it becomes thoroughly wet, including the root collar, but not to the

point of runoff. Each stem of the plant must be treated. Properly done, this basal bark treatment is extremely effective and the plant will not leaf out the following growing season. Once dead, the plant can be cut and removed, or allowed to stand to rot.

### **Cutting followed by herbicide treatment of the cut stumps**

Another very effective way of eradicating buckthorn is to cut the plant just above the ground level and treat the cut stump with triclopyr.

The same concentration of triclopyr should be used as for basal bark treatment, but only the cut stump should be treated. It is useful to include a blue or red dye in the herbicide mixture so that the cut stump treatment can be monitored. A backpack sprayer or spray bottle can be used. Be sure that the stump is thoroughly wetted with herbicide. This procedure is economical of herbicide and confines the chemical to the stump itself, but is more labor-intensive than basal bark treatment. However, it has the advantage that the buckthorn plants themselves are being removed from the habitat.

**It should be emphasized that cutting buckthorn without treating the cut stumps is ill advised, because cut plants will resprout heavily from the roots, leading to a worse situation than if the plant had not been cut at all.**

Although the cut stump procedure can be used at any time of the year, the fall or winter is preferable because nontarget plants are not affected. Also, this procedure is effective with plants of any size, even large ones. Place all the cut material in a pile for subsequent burning.

### **Basal bark or cut stump?**

Bark treatment is best in large infected areas, whereas cutting and treating the cut stumps is best in relatively small areas, or in areas of high interest.



## Honeysuckle Identification and Control

Honeysuckle (species of *Lonicera*) is a nonnative plant that is a major threat to Wisconsin's woodlands.

There are several species of honeysuckle that cause problems in Wisconsin natural areas, but there is no reason to classify them since they are all nonnative and they are all bad. The native honeysuckles in our area can easily be distinguished from the bad ones because the natives are all woody vines rather than bushes.

Bush honeysuckles are upright shrubs ranging from a few feet to 15 feet tall. They form many branches from the base, and the spreading branches shade other plants. In a honeysuckle "thicket", almost nothing will be found under the canopy. (After the honeysuckle is removed, the soil is often bare.) Honeysuckles form fragrant tubular flowers, followed later by red fruits. Birds are attracted to the fruits and spread the seeds. Bush honeysuckles have a wide tolerance, but they prefer partial to full sunlight and are most commonly found in abandoned fields, forest edges, roadsides, and other open upland habitats. They are extremely invasive and can easily take over and dominate a habitat.



*An area heavily infested with honeysuckles. In such areas, there may be dozens of such bushes covering the natural area. The shade they produce is so heavy that native forbs and grasses are unable to flourish.*

Honeysuckle is one of the plants that will invade a habitat if it is protected from fire. Once honeysuckles have conquered a habitat, there is no possibility of fire because there is no fuel. The ground under a honeysuckle patch is often completely bare. In order to reintroduce fire, it is essential first to eliminate the honeysuckles and then reseed with native plants, preferably seed mixtures containing grasses such as Indian grass or bluestem that will carry a fire.

### Control of honeysuckle

Both mechanical and chemical methods must be used together on honeysuckle. The most assured method is to cut all the stems of a plant and treat each cut stump with a 20% solution of glyphosate. The concentration given here is percent of the active ingredient. Concentrated glyphosate, such as Roundup Ultra, is around 40% out of the bottle, so that a 20% solution can be made by mixing equal parts of glyphosate and water. (Some sources recommend lower concentrations of glyphosate, but with the higher concentration resprouts are less likely to occur.)

Honeysuckle can be cut with either a brush cutter or a hand lopper. The hand lopper works well and is suitable in volunteer work parties, because each volunteer can participate in cutting. If a stem is too large to cut with a lopper, a handsaw can be used. With a brush cutter, it is important



*Close up of honeysuckle flowers. In southern Wisconsin, flowering occurs in late April or early May.*



that the cutting blade be sharp. With a dull blade, the cut stems are often shredded and splintered, making them harder to treat with herbicide. For the largest stems, a chain saw may be necessary. No matter which cutting method is used, it is essential that the stumps be cut sharp and straight across, so that the cut stumps can be treated with herbicide (as described below).

Here is a procedure guaranteed to work:

- Cut each stem with a hand lopper or handsaw, counting the stems as you cut.
- Cut the stems as close to the ground as possible, but still leave a small amount of stem showing above the soil layer.
- Pull all cut stems away from the base. Now treat each cut stump carefully with the glyphosate mixture. It is strongly recommended that a red or blue dye be added to the herbicide mixture, so that treated stumps can be distinguished from untreated ones. (Dyes suitable for herbicide use can be obtained from an agricultural chemical supply company.)
- As you treat, count each stump again, and do not stop treating until you have treated every stump you have cut.
- If a spray bottle is used, do not spray the whole base, since this wastes herbicide and spreads it around. Instead, place the tip of the spray bottle onto each cut stump, press gently to bring up several drops of solution, and spread them around the cut stump with the tip of the bottle.
- The whole cut stump should be covered with the dye/herbicide mixture.



*The tools of the honeysuckle trade. Hand loppers, a spray bottle containing 20% glyphosate and a red dye, and persistence.*

With practice, this procedure works quite well and the honeysuckle plants should not resprout. Note that with this procedure, the herbicide is confined only to the cut stumps and is not spread around the environment.

Research has shown that in southern Wisconsin honeysuckle can be cut at any time of the year. Winter is an excellent time to cut, and glyphosate works quite well then.

Honeysuckle is very persistent, and will resprout readily if not treated with herbicide. Please note: **There is no point in cutting honeysuckles if they are not going to be treated with herbicide.**

We do not recommend hand pulling, as some authorities do, because it disturbs the soil and opens it up for establishment of weeds.

After the honeysuckles have been taken care of, the area should be reseeded with native species. This is especially important



*Honeysuckle cut stumps treated with glyphosate. The red dye (blue will also work) ensures that all stumps have been treated. Count the stumps as they are cut, and again as they are treated.*



## Appendix A Invasive Species Control

Invasive Plants Association of Wisconsin

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because when the honeysuckles are removed a "hole" has been created, into which weeds will readily move. In fact, if the honeysuckles were almost solid, it might be preferable not to remove them all at once, but to gradually cut them back, seeding with native species as you go. It may take several years to eliminate the honeysuckles in this way, but this may be preferable to creating a habitat full of weeds.

Once honeysuckles have been eliminated from a natural habitat, they can usually be kept out by controlled burning. Remember, there will be a seed bank, so that small honeysuckles will appear next year. If the habitat is not burned, these small honeysuckles will grow big and you will have the same problem again. Once established, native grasses will carry a fire and help keep the honeysuckle seedlings in check.



*This honeysuckle bush was cut and the cut stumps were not treated with herbicide. Resprouting has resulted in a large number of stems.*

Please note: **Eradication of honeysuckle should not begin until an approved burn plan has been developed.** For the first few years after removal of honeysuckle from an area, annual burning is recommended, so that the new seedlings are destroyed.

### **REED CANARY GRASS (RCG) *Phalaris arundinacea***

Reed canary grass is a very important invasive plant in Wisconsin and nearby states, and its eradication is especially difficult. It ranked #1 in importance in IPAW's survey of invasive plants.

#### **Reproduction and Basic Ecology**

Reed canarygrass (*Phalaris arundinacea* - RCG) is a perennial, cool-season, rhizomatous plant in the grass family (Poaceae / Gramineae) that grows successfully in northern latitudes. Its creeping rhizomes often form a thick sod layer which can exclude all other plants. Its upright stems grow to 2 meters tall from the rhizomes, and its flat leaf blades measure up to 0.5 m long by 2 cm. RCG has open sheaths, hollow stems, small clasping auricles and membranous ligules. Reed canary grass can grow on dry soils in upland habitats and in the partial shade of oak woodlands, but does best on fertile, moist organic soils in full sun. It is a major problem in natural wetlands, including marshes, wet prairies, sedge meadows, fens, stream banks, and seasonally wet areas. It also grows in disturbed areas such as berms and spoil piles. These stands exclude and displace desirable native plants. Areas invaded by reed canarygrass may be of little use to wildlife (Hoffman & Kearns, 1997). Human disturbance and alteration of water levels encourage reed canarygrass invasion.

RCG can reproduce vegetatively by its rhizomes and rhizome fragments, as well as sexually by its abundantly produced seed. Although each inflorescence can produce approximately 600 seeds, it probably has a low successful establishment rate from seeds, especially within dense infestations. Most plants and recurring populations of RCG develop from rhizomes. RCG seeds can be dispersed in animal fur, on human clothing or on automobiles. The most common vector for RCG seeds and rhizome fragments however, is probably dispersal by water. RCG seeds have a relatively low rate of germination, and do not germinate in dense shade. Seedlings are susceptible to prolonged flooding, prolonged drought, and do not appear to be highly competitive with perennial native species. Established populations can survive prolonged drought and can survive over one year of flooding, especially if parts of the plant are not submerged.

#### **Prevention**

Prevention of new invasions is the most efficient and cost effective method of invasive species management and control, and the prevention of new RCG infestations are no exception to this rule. Recent research completed in Wisconsin and Minnesota have shown that when levels of available soil nutrients (such as nitrogen) are reduced via carbon enrichment, a native sedge, *Carex hystericina*, is able to competitively suppress the growth of RCG. Sustaining a mosaic of microtopographies (by preventing sediment accumulation) facilitates native species richness, and maintaining complex herbaceous canopies also work to prevent RCG infestation, since RCG seed germination is dependent on amounts of light penetration.

#### **Manual & Mechanical Control Methods:**

##### **Digging**

Isolated plants or small patches of RCG can successfully be removed by digging out and removing the entire root mass. Removal is easiest when the soil is moist. Be sure to



## Appendix A Invasive Species Control

remove all rhizomes and roots, as small rhizome fragments can resprout. Properly dispose of plant material, since rhizomes and stems can develop new roots if inundated, or if kept in contact with moist ground. Be sure to follow-up to catch any resprouted stems.

### **Mowing/Cutting**

Mowing or cutting (using a mower, brush cutter, weed eater, tractor-drawn mower, machete, etc.) by itself will not kill RCG. In fact, if RCG is mowed only once or twice per year, it actually stimulates additional stem production. Continued mowing (5x or more per year) for 5 to 10 years is reported as successful in controlling RCG, but this has not been demonstrated on a large scale.

Mowing can be used in combination with another control method, such as a subsequent herbicide application, for good control. Additionally, mowing prior to or at the onset of flowering can eliminate seed set for that year. So, you can choose to mow RCG for several years to eliminate the seed bank, and then a final mow followed by herbicide application to eliminate mature RCG. Mowing can also facilitate the installation of shade cloth, or be used as a pre-treatment for tillage, since it will remove or break up the thick layer of dead litter.

### **Tillage/Cultivation**

The use of large tillage machinery can successfully eliminate RCG if combined with a proper flooding regime. This method, however, requires the use of large, expensive equipment, and requires the ability to manipulate water levels. Additionally, use of tillage to manage RCG assumes that you have no species or communities of concern that you are trying to preserve at the site. If you are working in a sensitive area or in a relatively intact native system, this may not be a viable option. The purchase of the large tillage equipment (48-inch tillage plates and tractor) can be prohibitively expensive, but it may be available locally for rental or borrowing.

To eliminate large, dense RCG infestations using tillage + flooding, you should till through the RCG sod layer as soon as it is possible in the field season (usually, as soon as it is dry enough). The initial tillage may require several passes of the equipment, since the RCG sod layer may be thick and tough. Let the exposed stems and rhizomes dry-out. You will need to till several times during the fieldseason to break-up and dry all rhizome fragments (until you have nothing left but broken-up clods of soil). Finally, when the winter flooding begins, close floodgates and keep the entire area inundated at least 18 inches deep through late spring (late May-June) the following year. This combination of methods will eliminate large infestations of RCG, but follow-up (i.e. spot herbicide treatment with a backpack sprayer) will still be required for several years, since some RCG plants will survive or will reinvade the site. Active restoration will be necessary if a remnant seed bank does not exist.

### **Flooding without tillage**

Controlling the hydrology of the site to lengthen the time an area spends totally submerged may be a viable control strategy if you have control over the hydroperiod of your site.

### **Prescribed Fire**

Burning generally does not kill mature RCG, and similar to occasional mowing, actually appears to stimulate additional stem production unless the fire burns through the entire

## Appendix A Invasive Species Control

RCG sod layer down to the mineral soil (which in turn, may create other problems). In most cases, RCG remains green long into the season, and so does not burn very hot. Herbicide treatment prior to burning can facilitate a prescribed fire, especially outside of typical "fire seasons." Prescribed fire can however, be used as a pretreatment to tillage, shade cloth, or prior to herbicide application for good results, since the fire will remove the aboveground dead litter and standing vegetation. Burning for several years in a row is generally not possible because of lack of fine fuels after the first-year burn.

### **Solarization, Shade Cloth, & Mulching**

Solarization (essentially baking under clear or black plastic) or the use of a thick woven geotextile shade cloth can be used to eliminate RCG. In dense areas of patchy RCG growth, this method can provide specific, targeted control. In areas where RCG is mixed-in with desirable species, the kill of those desirable species may or may not be an option. Also, the use of certain materials for this method depends on your overall management goals. Excellent control of RCG can also be accomplished by using a thick woven plastic fabric (Mirafi(r) or Amoco(r) brands), held in place by 7-inch gutter spikes and washers and duck-bill tree anchors. The fabric is kept in place for over one year (over an entire growing season), even under inundation. This method will kill all plants under the cloth. Revegetation or reseedling is generally necessary with this method. Shade cloth is initially expensive (approximately \$400 per 12 ft x 350 ft roll), but can be reused several times, and this method does not require follow-up visits during treatment. Mowing prior to the installation of shade cloths greatly facilitates installation. Small patches can likely be treated using black plastic bags, if they are kept in place for the entire duration, the edges are tacked-down firmly, and the bags do not shred.

### **Grazing**

Grazing may be effective means for controlling reed canarygrass but the palatability of RCG is questionable--the genus *Phalaris* is notoriously unpalatable and an illness associated with the effects of consumption is called 'Phalaris staggers' (Marten et al., 1976). Cattle prefer RCG when stems and leaves are young and succulent, but do not prefer it once stems become old and tough. Goats and sheep will graze on RCG. Grazing can be combined with another treatment method (followed by tillage, herbicide, shade cloth), for good control. Grazing can also be inappropriate in wetland settings (Hutchison, 1992).

### **Biological Control**

There are no known biological control agents for RCG.

### **Chemical Control Methods**

RCG can be successfully controlled by the proper use of herbicide. Small stands or clumps of RCG can be effectively killed with one application, but large infestations will likely require applications over several years to be effective. Since RCG frequently grows in wet areas, only herbicides approved for aquatic habitats are allowed in many situations. As with all herbicide use, be sure to read and follow all label instructions and



## Appendix A Invasive Species Control

to abide by all state regulations. Glyphosate (Rodeo®, Aquamaster®, or Glypro® among others) applied in a 2% solution (1.08% active ingredient (a.i.)) with a nonionic surfactant works well to kill RCG. Glyphosate (Rodeo) is a non-selective herbicide that kills or injures nearly all plant species. Glyphosate is also available in many other formulations (e.g. RoundUp®). These work well to kill RCG, but are not labeled for aquatic use, so be aware of the areas where you plan on applying herbicide. Sethoxydim (Vantage®) is a grass-specific herbicide that has been used to kill RCG with some success, but it is also not labeled for aquatic use. Depending on the size and distribution of your infestation, the herbicide can be foliar-applied using a dripless wick applicator, backpack sprayer, or boom sprayer. Herbicide should be applied to foliage during the growing season. Application can occur in mid-summer (just prior to summertime dormancy) or preferably in late fall (just prior to frost and wintertime dieback). It is recommended to apply herbicide at these times, since it is speculated that these are the times of year when RCG is most actively translocating carbohydrates (along with the herbicide) down into the root system. You may also combine an herbicide treatment with another control treatment for good results. First, eliminate the aboveground dead litter by mowing or burning, then allow the RCG stems and leaves to regrow to boot height. This helps obtain better herbicide coverage and reduce total herbicide use, since you are spraying only living green RCG that is 12" tall vs. 6' tall stems mixed with old dead leaves. Follow-up monitoring and treatment is necessary for several years to ensure complete kill.

### **Restoration/Competition**

Planting fast-growing shrubs or trees may eventually eliminate RCG since it is intolerant of year-round shade, but depending on your management goals and objectives, this may not be a viable option.

### **Best Management Practice Recommendation**

The best management approach to use will depend on your overall management goals and objectives, the size, distribution and location of your RCG infestation(s), your capability and willingness to use herbicides (or not), and your available resources (staff and volunteer time, money, equipment, etc). The following recommendations are not necessarily the best management methods for every situation, nor are they presented in an order of preference. The methods listed below have however, been used with some success. Also, every method will require follow-up monitoring and treatment (including replanting native species if necessary) to ensure the long-term success of your treatments.

#### **Scattered individual plants or small patches in healthy native vegetation**

1. Dig out using a shovel
2. Spot-spray or wick with herbicide
3. Spot flame with a propane torch (only works for seedlings or young individuals)

#### **Distinct patches of RCG within a matrix of native vegetation**

1. Dig out using a shovel (depends on size)
2. Cover with shade cloth (may be preceded by mowing)
3. Mow (to eliminate seeds), then spot-spray or wick with herbicide
4. Spot-spray or wick with herbicide

#### **Large patches (up to several acres) of RCG with scattered native vegetation**

## Appendix A Invasive Species Control

**(Which method you choose will depend on how much you want to keep your native vegetation)**

1. Mow then cover with shade cloth
2. Mow then herbicide (wick, spot-spray or boom)
3. Herbicide using appropriate application technique
4. Spot-burn then spot-spray regrowth
5. Cover with shade cloth (may be preceded by a mow treatment)

**Large (hundreds of acres) monocultures of RCG**

1. Mow using large mower, herbicide spray using boom sprayer
2. Prescribed burn, then herbicide spray using boom sprayer
3. Tillage and flooding

Summarized below are references to papers providing more detail.

Mandy Tu, Ph.D., works with the Invasive Species Initiative of The Nature Conservancy, Oregon Chapter.

Her PowerPoint presentation chronicles the comparison of various control efforts in Oregon. (5.4 MB) [Download now.](#)










For a quick look at the results of the study, here's a single PowerPoint slide (53 KB): [Download now.](#)

The following is the now published paper discussing the study: Controlling Phalaris in the PNW

Authored By: Mandy Tu, The Nature Conservancy's Wildland Invasive Species Team

The report by Galatowisch and Reinhart (UMn) on best management practices for reed canary grass can now be downloaded/printed from the U.S. Shorebird Conservation Plan website at: <http://shorebirdplan.fws.gov/USShorebird/ManagementReports.htm>



Treatment	Effect	Should use	Appendix A Conclusive Species	Should not use	Comments
<b>Burning</b> 	<ul style="list-style-type: none"> <li>Removes biomass and litter; might kill seeds on soil</li> <li>Reduces available N over multiple burns (N volatilized)</li> <li>Seed bank released, both desirable/undesirable species</li> <li>Stimulates dormant buds of RCG, rhizomes re-sprout</li> <li>Can jumpstart growing season by warming soil</li> </ul>	<ul style="list-style-type: none"> <li>To reduce RCG in late spring after RCG is active but before natives break dormancy</li> <li>To force RCG to re-sprout and use reserves from rhizomes</li> <li>Use in combination with other practices</li> </ul>	<ul style="list-style-type: none"> <li>To remove thatch prior to a planting/seeding of desirable natives</li> <li>To remove thatch and prompt early spring sprouting of RCG, which can then be treated with glyphosate or sethoxydim</li> </ul>	<ul style="list-style-type: none"> <li>In fall to control RCG in short term, because RCG benefits from high light conditions that follow fire</li> <li>In early spring in mixed vegetation sites, because RCG growth will be encouraged by increased light, unless you plan to combine with another treatment</li> <li>On organic sites when very dry</li> </ul>	<ul style="list-style-type: none"> <li>Jumpstart occurs if burn done in fall or spring</li> <li>No research on critical density of RCG that can be controlled by burning alone</li> <li>Early burns will stimulate RCG; timing and frequency critical</li> </ul>
<b>Excavation</b> 	<ul style="list-style-type: none"> <li>Removes rhizomes and seed bank</li> <li>Removes sediment and nutrients</li> <li>Alters hydrology</li> </ul>	<ul style="list-style-type: none"> <li>Where material can be pushed to fill drainage ditches or where it can be moved off site; where deeper water is desired</li> <li>During winter, to reduce soil compaction</li> <li>During summer when wet sites are dry</li> </ul>	<ul style="list-style-type: none"> <li>To remove alluvium over native wetland soils</li> </ul>	<ul style="list-style-type: none"> <li>If there is no soil disposal site.</li> <li>If compaction is an issue</li> <li>If you don't want a deep-water marsh.</li> <li>If there is a high-quality remnant plant community in area</li> </ul>	<ul style="list-style-type: none"> <li>May cause soil compaction</li> <li>RCG will rapidly re-colonize disposed soil; use caution when selecting a disposal site</li> <li>Additional treatments will be necessary on drier sites</li> <li>Seed with natives afterwards, except in the deepest water, or if a rich native seed bank exists</li> <li>May require special permits</li> </ul>
<b>Tree/shrub planting</b> 	<ul style="list-style-type: none"> <li>When woody species overtop RCG, shade slows its growth</li> <li>May change plant community</li> <li>Adds structure to habitat</li> </ul>	<ul style="list-style-type: none"> <li>Where herbaceous vegetation cannot gain a competitive advantage</li> </ul>	<ul style="list-style-type: none"> <li>In an area where landscape is receiving RCG seed inputs</li> <li>Where inflows can't be diverted</li> <li>To connect existing woody patches</li> </ul>	<ul style="list-style-type: none"> <li>Where management goal is to maintain grassland habitat</li> </ul>	<ul style="list-style-type: none"> <li>Need to apply herbicide/mulch around newly planted trees/shrubs</li> <li>Conifers may be the most effective at shading RCG</li> <li>Need to control RCG for 3-5 years to allow trees to establish</li> <li>Shelter tubes may be cost-effective</li> </ul>
<b>Grazing</b> 	<ul style="list-style-type: none"> <li>Reduces biomass in spring</li> <li>Causes disturbance</li> <li>Allows seedling establishment (good/bad)</li> <li>Adds nutrients to system</li> </ul>	<ul style="list-style-type: none"> <li>In highly disturbed sites to reduce RCG biomass</li> <li>In fall, after a prescribed burn (RCG regrowth more palatable)</li> </ul>	<ul style="list-style-type: none"> <li>To reduce biomass and height before herbicide treatment</li> <li>To reduce seed production</li> <li>Lightly, to sustain diversity</li> </ul>	<ul style="list-style-type: none"> <li>During wet conditions in spring where trampling and compaction can damage a site</li> <li>On high quality sites</li> </ul>	<ul style="list-style-type: none"> <li>Once started, cannot stop, unless you switch to another treatment</li> <li>Not an effective practice alone</li> <li>Use proper stocking rates to prevent overgrazing of desirable species</li> </ul>
<b>Mowing &amp; harvesting (haying)</b> 	<ul style="list-style-type: none"> <li>Removes biomass and nutrients that are accumulated in biomass</li> <li>Directly damages RCG</li> <li>Similar effects to fire (promotes seed establishment, stimulates plant growth by increasing light)</li> </ul>	<ul style="list-style-type: none"> <li>To reduce biomass before herbicide treatment</li> <li>To remove P from site</li> <li>Before seed heads appear (boot to late boot)*</li> <li>To prepare for R<sub>x</sub> fire</li> <li>To prepare for herbicide application</li> </ul>	<ul style="list-style-type: none"> <li>As a substitute for fire (though not quite the same)</li> <li>To change fire behavior</li> </ul>	<ul style="list-style-type: none"> <li>Where tussocks and microtopography will be damaged</li> <li>If grassland bird habitat will be impacted.</li> <li>When site is too wet for equipment</li> </ul>	<ul style="list-style-type: none"> <li>On high quality sites, avoid use during growing season</li> <li>Mow before RCG seed heads appear (boot to late boot stage)*</li> </ul>
<b>Mowing without harvesting</b>	<ul style="list-style-type: none"> <li>Reduces plant height</li> <li>Increases light—promotes competition</li> <li>Depletes rhizome reserves</li> <li>Creates dry biomass for fire</li> </ul>	<ul style="list-style-type: none"> <li>To prepare for R<sub>x</sub> fire</li> <li>To prepare for herbicide application</li> <li>To stress RCG</li> <li>When harvesting equipment is not available</li> </ul>	<ul style="list-style-type: none"> <li>To change fire behavior</li> </ul>	<ul style="list-style-type: none"> <li>Where tussocks and microtopography will be damaged</li> <li>If grassland bird habitat will be impacted.</li> <li>When site is too wet for equipment</li> </ul>	<ul style="list-style-type: none"> <li>Mow before RCG seed heads appear (boot to late boot stage)</li> <li>Could impede establishment of natives, due to remaining mat of vegetation</li> </ul>
<b>Herbicide: glyphosate</b> 	<ul style="list-style-type: none"> <li>Reduces plant height</li> <li>Increases light—promotes competition</li> <li>Depletes rhizome reserves</li> <li>Creates dry biomass for fire</li> </ul>	<ul style="list-style-type: none"> <li>On sites without native plants prior to reseeding.</li> <li>To dry out RCG in order to burn</li> <li>In late summer for maximum translocation to roots</li> </ul>	<ul style="list-style-type: none"> <li>For treating clones within areas of desirable natives</li> <li>As an initial herbicide treatment on monotypic stands of RCG</li> <li>Where RCG height precludes use of other herbicides</li> <li>In early spring or late fall, when RCG is live, but other plants dormant</li> <li>On wet sites, use Rodeo®</li> </ul>	<ul style="list-style-type: none"> <li>On sites with desirable native plants actively growing</li> <li>Where desirable plants are intermixed with RCG</li> <li>Soon after mowing/burning</li> <li>When amphibians are on site (Roundup® surfactant has negative effects)</li> </ul>	<ul style="list-style-type: none"> <li>Should be part of a continued control strategy, where natives would be later introduced</li> <li>Multiple treatments may be necessary</li> <li>May need a permit for application on wetlands</li> <li>Translocation ineffective when temperature is &gt;70° F</li> <li>Other herbicide/mowing treatments may influence herbicide effectiveness</li> <li>Add ammonium sulfate to tank mix if water is hard</li> </ul>
<b>Herbicide: grass-specific (i.e. sethoxydim or fluazifop)</b>	<ul style="list-style-type: none"> <li>Suppresses growth of most perennial grasses</li> <li>Releases native plant community (except for grasses)</li> </ul>	<ul style="list-style-type: none"> <li>On sites with desirable, native, non-grass species</li> <li>When active growth resumes after burning/mowing, when RCG is 6-12" tall</li> </ul>	<ul style="list-style-type: none"> <li>Following other herbicide treatments to control residual or re-emerging RCG</li> </ul>	<ul style="list-style-type: none"> <li>To obtain immediate eradication</li> <li>If standing water is present</li> <li>On high quality sites with desirable grasses</li> <li>When RCG is &gt;12" tall</li> </ul>	<ul style="list-style-type: none"> <li>Apply with surfactant or crop oil</li> <li>Apply when temperature &gt;70° F (better rhizome translocation)</li> <li>&gt; one treatment required</li> <li>Effectiveness of sethoxydim is reduced by UV light</li> <li>Add a water conditioner or acidifier if water is hard</li> </ul>
<b>Tillage</b> 	<ul style="list-style-type: none"> <li>Exposes rhizomes to light; might activate dormant buds</li> <li>Slices rhizomes</li> <li>Can contribute to erosion</li> </ul>	<ul style="list-style-type: none"> <li>To prepare site for herbicide by making more rhizome buds responsive to chemical control</li> <li>On monotypic, damaged sites to prepare for crop production</li> </ul>	<ul style="list-style-type: none"> <li>To prepare a seedbed</li> <li>To reduce RCG seed bank</li> </ul>	<ul style="list-style-type: none"> <li>Where microtopography needs to be maintained.</li> <li>Where desirable natives are mixed with RCG</li> <li>On wet sites, where soil could become compacted, or equipment can get stuck/damaged</li> <li>Where offsite impacts are possible (sedimentation/erosion)</li> </ul>	<ul style="list-style-type: none"> <li>Need to combine with another treatment, or repeat tillage</li> <li>Depth should be 4-6" to target RCG rhizomes</li> <li>Spring or early summer tilling preferred</li> <li>Could till every four weeks during growing season, depending on management goal</li> </ul>
<b>Altering hydrology</b> 	<ul style="list-style-type: none"> <li>Prolong/increase water levels</li> <li>Prevents RCG seed germination</li> <li>Kills RCG rhizomes</li> </ul>	<ul style="list-style-type: none"> <li>If new water depth is &gt; 12"</li> <li>If high water can be maintained through the growing season.</li> </ul>	<ul style="list-style-type: none"> <li>To promote the growth of emergent plants such as native cattail, burr-reed and bulrush species</li> </ul>	<ul style="list-style-type: none"> <li>If new water depth is &lt; 12" or site seasonally dries out</li> <li>If other invasives are nearby (<i>Typha x glauca</i>, <i>Phragmites</i>)</li> </ul>	<ul style="list-style-type: none"> <li>Effects vary by site</li> <li>High water can promote growth of other invasives (<i>Typha x glauca</i>, <i>Phragmites</i>) if present in the area</li> <li>Can be combined with tillage</li> <li>May require special permits</li> </ul>
<b>Mulching / solarization with plastic or fabric</b> 	<ul style="list-style-type: none"> <li>Non-selective treatment; shades out all plants</li> <li>Kills adult plants</li> <li>Kills RCG rhizomes</li> </ul>	<ul style="list-style-type: none"> <li>For small, isolated RCG clones</li> <li>For 1-3 consecutive years</li> <li>On patches with high edge:area ratio, to facilitate recolonization by soil fauna</li> </ul>	<ul style="list-style-type: none"> <li>To facilitate seeding or planting of natives</li> </ul>	<ul style="list-style-type: none"> <li>Where desirable natives are mixed with RCG</li> <li>For abatement on large sites</li> <li>If native species are present</li> <li>In areas with microtopography</li> </ul>	<ul style="list-style-type: none"> <li>Resurgence from seedbank may occur when tarping removed</li> <li>May have adverse effects on soil microorganisms</li> <li>May alter soil chemistry</li> <li>Not always an effective treatment</li> </ul>

RCG= Reed canarygrass N=Nitrogen \* For a description of growth stages see the bulletin, *Growth and Staging of Wheat, Barley and Wild Oat* at <http://plantsci.missouri.edu/cropsys/growth.html>



## Backpack spraying

### 1. Foliar application of Habitat herbicide

1.25% Habitat + crop oil + dye

- First tried mid-summer application (June 27-29, 2005) – effective, but not 100%
- Late summer/early fall application (Oct 4, 5 2005) – very close to 100% effective on all sites treated

#### Advantages

- Ideal for sparsely distributed stems
- Much quicker than bundling/treating
- Effective – minimal retreatment needed

#### Disadvantages

- Equipment cost – 3 gal backpack costs ~ \$100
- Overspray – impacts on desirable vegetation, exposure to applicator
- Once dye has faded, treated areas look identical to non-treated
- Slow activity of chemical – effects are not apparent until following year
- If treating a large clone, a source of clean water to refill
- Tall clones are difficult to treat

## Contacts:

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(608) 273-5943

Rick Schulte (Herbicide sales)  
(608) 770-4041

Invasive Plant Association of Wisconsin (IPAW)  
<http://www.ipaw.org> (website – links to listserv)



## Phragmites spp. Control 2003 – 2006 Door Co. – Wisconsin DNR

### Bundle/cut treatment (mid-August)

1. Using pre-cut strands of binder twine, tie up multiple stems
  2. Cut stems over the twine with hedge shears
  3. apply herbicide to cut stems
- First tried Rodeo (aquatic use Glyphosate) 1:1 with water
    - Topkilled treated stems, but clone persisted at reduced level
  - Habitat (Imazapyr) 6 oz/gallon water
    - Superior results compared to Rodeo

### Advantages

- Minimal equipment needed
- Only the herbicide applicator needs to have certification
- Almost no herbicide drift/overspray – safe for applicators, reduce ‘collateral damage’ to desirable spp.
- Easy to track what has/has not been treated, and track results the following season
- Possible to treat any height of stems – some taller clones cannot be safely treated with backpack spraying
- Effective – minimal retreatment needed
- Results can be seen in the same growing season – although the true results are not apparent until following growing season

### Disadvantages

- Only possible with relatively small clones, OR with larger clones – more personnel are needed
- Can only treat dense clones, not individual stems
- Slow – going

## Appendix B Prescribed Burn Planning

### Wisconsin Prescribed Fire Council Proposed Burn Plan Elements 4/12/2005

Responsible organization, entity, individual ie. Prairie Enthusiasts, Jim Sime, Clark Forestry (including name, address, phone number)

Landowner(s) name, address, phone number, fire number and burn location address.

Location maps:

- 1) General location map (ie. County map or gazetteer) large enough to show access roads from all directions. Include access roads, lanes, and escape routes and nearest town. Describe how vehicles can use roads and lanes to get to areas if escape happens.
- 2) Topo or aerial photo with property boundaries, site location, fire breaks, hazards, escape routes, extra resources eg. drinking water, tank water.
- 3) Topo or aerial photo showing larger field of view than the burn unit

Burn Unit description – Describe materials to be burned ie. tall grass, brushy prairie etc., Describe fire break locations, adjacent land uses, potential hazards, escape routes, brief fire history, and acreage to be burned.

Objective(s) of burn – ie. Control invasives, seed bed preparation, increased propagation of seed, invigorate native species, etc. (should be measurable ie. 10% of woody vegetation under 4" dbh scorched).

Permits required – List

Prescription for the burn: 1) Acceptable date window, # of personnel and qualifications required, 2) Weather - wind speed, wind direction, temperature, humidity 3) Smoke considerations – list up to ½ mile distance, 4) Equipment needed - list all equipment ie. drip torches, ATV's, hand tools, radios etc., 5) Ignition plan, 6) Mop up plan, 7) Rehabilitation plan – include remediation of damage or impacts of the burn ie. filling ruts from equipment, replacement of fences etc., 8) Additional considerations ie. refugia, cultural resources, peat soils or wet soils, other biological considerations such as phenological timing, insect emergence etc.,

Contingency Plan – Include emergency contact information, contingency resources ie. rural fire departments, and DNR, and identify secondary control lines.

Safety Plan – Identify safety zones, escape routes and communications plan, identify other safety concerns ie. topography, abandoned wells etc.

Identification of individuals and organizations to be notified the day of burn, or earlier as appropriate – ie. Sheriff, DNR Fire, local unit of gov't. neighbors, local fire departments, media. Include phone numbers and fire numbers. (Make a record of contacts)



## Appendix B Prescribed Burn Planning

Go/No-Go checklist (attached)

Burn Boss Signature and date –

Day of Burn –

List crew members and responsibilities –

Have crew members sign in and include contact and emergency medical information

Date and time of burn –

Fire operation – preparation, start time, mop-up time, additional days to mop-up

Plant phenology at time of burn –

Wind speed –

Wind direction –

Relative Humidity -

Temperature-

Fire Behavior:

Burn Patterns

Flame Lengths

% of unit burned

Briefing list for the crew

Map of what was burned and map of ignition pattern

Signed off by burn boss

Recommendations

## Appendix B Prescribed Burn Planning

4/12/2005

### Wisconsin Prescribed Fire Council's Participation Classifications

#### APPRENTICE

**Description:** This individual has insufficient prescribed burning training or experience to qualify for the Crew Member classification.

**Training Requirements:** An Apprentice must be given instructions on-site the day of the burn including the regular crew briefing, and at least the following specific instructions:

- Chain of command
- Use of personal protective equipment
- Use of assigned tools or equipment
- Escape route and safety zone

An Apprentice must be directly supervised during the burn by an individual qualified as a Crew Member or higher.

#### CREW MEMBER

**Description:** This individual has the basic knowledge, gained from formal training and experience, to participate in prescribed burns and follow directions from more experienced personnel. Duties include ignition, control, mop-up, suppression, monitoring, etc. under the direction of a Squad Boss.

**Training Requirements:** To be qualified as a Crew Member, an individual must:

Have attended a one day training course covering the learning objectives listed in Attachment 1, and have participated in two burns (S130, S190 meets this requirement).

#### SQUAD/LINE BOSS

**Description:** An individual in the Squad Boss classification (sometimes referred to as Line Boss) directs a portion of the prescribed burn crew, usually 3-6 Crew Members. Squad Bosses may direct holding, ignition, and lookout (spotter) functions. Squad Bosses are expected to be able to take appropriate action if spot fires occur in their portion of the line, directing the work of their assigned personnel and directly communicating with the fire boss.

**Training Requirements:**

1. Qualification as a Crew Member.
2. Participation in at least 5 prescribed burns within the past three years as a trained Crew Member.
3. Two day training course with content, examples and photos geared to Wisconsin fuels and terrain. The course should meet the requirements of Advanced Firefighter Training (S131) *or its equivalent*.

#### BURN BOSS

**Description:** This person takes the lead in planning and implementing a burn, including all phases of planning, preparation, operations, safety and evaluation. The Burn Boss is the final authority on a burn. To be qualified as a Burn Boss an individual must meet the following training and experience requirements:



## Appendix B Prescribed Burn Planning

1. Qualification as Crew Member
2. Qualification as Squad Boss
3. Serve as a Squad Boss on at least 10 burns
4. Serve as an apprentice Burn Boss on at least three fires of comparable complexity \*
5. Take the Wisconsin Rx Fire Council workshop on Burn Boss or equivalent, or meet NWCG Burn Boss requirements. \*\*

\* An apprentice burn is when an experienced fire leader allows the individual apprenticing to run all capacities of the prescribed fire from start to finish, while offering coaching, constructive criticism and mentoring. The burns that an individual serves as an apprentice on should be comparable in complexity to the burns that they will be leading as burn bosses. For example, if the apprentice burns are in small flat grassland units, then one can boss burns in small, flat, grass land units. If the apprentice burns are served on large woodland units with high fuel loading and topography then the individual may boss burns similar.

\*\* The Wisconsin Rx Fire Council Training Committee is working on developing these courses. The Burn Plan Writing workshop will teach individuals how to use the proposed burn plan and will comprise of an indoor workshop to provide training. The Workshop to provide Burn Boss Training will also be developed. The Burn Plan Writing workshop will be offered for the first time in January 2006. The Burn Boss workshop will be offered for the first time in Fall of 2006. Skills check lists will be developed for both courses so an alternate course can be compared for equivalency.

## Wisconsin Prescribed Fire Council Burn Unit Plan

Burn Unit Name:

Responsible Organization: (name, address, phone#)

Landowner(s): (name, address, phone number, fire number, burn address)

Burn Unit Description: Describe materials to be burned, i.e., tall grass, brushy prairie, etc. Describe fire break locations, adjacent land uses, potential hazards, escape routes, brief fire history and acreage to be burned.



Objectives: i.e., control invasives, seed bed preparation, increased propagation of seed, invigorate native species, etc. (should be measurable, i.e., 10% of woody vegetation under 4" dbh scorched.

Permits - list

## Appendix B Prescribed Burn Planning

Burn Prescription	
Date Window:	Humidity:
Personnel required and qualifications:	Smoke considerations: (list up to ½ mile distance):
Wind speed:	Equipment needed (list all equipment, i.e., drip torches, ATV's, hand tools, radios, etc.
Wind direction:	
Temperature:	

Ignition Plan:



## Appendix B Prescribed Burn Planning

Mop up Plan:

Rehabilitation Plan: (include remediation of damage or impacts of the burn, i.e., filling ruts from equipment, replacement of fences, etc.

Additional considerations: (i.e. refugia, cultured resources, peat or wet soils, other biological considerations such as phenological timing, insect emergence, etc.

## Appendix B Prescribed Burn Planning

Contingency Plan: (include emergency contact information, contingency resources, i.e., rural fire departments, and DNR, and identifying secondary control lines.)

Safety Plan: (identify safety zones, escape routes and communications plan, identify other safety concerns, i.e. topography, abandoned wells, etc.



## Appendix B Prescribed Burn Planning

Individuals and organizations to be notified the day of burn or earlier as appropriate, i.e. Sheriff, DNR Fire, local unit of government, neighbors, local fire departments, media (include phone numbers and fire numbers, make record of contacts.

Burn Goss signature: \_\_\_\_\_ Date: \_\_\_\_\_  
\_\_\_\_\_

List of attachments:

### GO-NO-GO Checklist

Location maps:

- 1) General location map (i.e., County map or gazetteer) large enough to show access roads from all directions. Include access roads, lanes, and escape routes and nearest town. Describe how vehicles can use roads and lanes to get to areas if escape happens.
- 2) Topo or aerial photo with property boundaries, site location, fire breaks, hazards, escape route, extra resources., e.g., drinking water, tank water,
- 3) Topo or aerial photo showing larger field of view than the burn unit.

## Appendix B Prescribed Burn Planning

Day of Burn  
Crew members: list and responsibilities:

Date: \_\_\_\_\_ Time: \_\_\_\_\_

Fire Operation: (preparation, start time, mop-up time, additional days to mop up.

Plant phenology:

Wind Speed and direction:

Relative humidity:



Temperature:

Fire behavior:

Burn patterns:

Flame lengths:

% of unit burned:

## Appendix B Prescribed Burn Planning

Burn Boss signature: \_\_\_\_\_

Recommendations:

Attachments –

Crew member sign in, emergency contact, and medical information sheet.

Briefing list for crew.



Authorized  
February 2000

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**Protocol  
For  
Incidental Take Authorization**

**Blanding's Turtle (*Emydoidea blandingii*)**

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**Note**

*If carrying out a given protocol is not feasible, or multiple listed species in a given management area pose conflicts, contact the Bureau of Endangered Resources at 608/264-6057. Staff in BER will work with Integrated Science Services (Research) staff, species experts and managers to establish an acceptable protocol for a given site that will allow for incidental take without further legal Consultation or public notice*

**I. Species Background Information**

**A. Status**

**State Status:** Threatened.

**USFWS Region 3 Species of Management Concern:** Yes

**Number of Known WI Sites:** 122; in Wisconsin it occurs in every county except four in the northern hardwoods region adjacent to Lake Superior.

**Global Range:** Southern Ontario and northwest Pennsylvania west to central Minnesota, Nebraska and south into central Illinois.

**B. Habitat**

**General Habitat Description:** Prefers shallow to deep marshes dominated by moderate to dense submergent vegetation and often co-dominated by emergent vegetation (usually cattails) along the shorelines. May also be found in almost every other wetland type excluding northern bogs and oligotrophic lakes. Strongly prefers lentic water although individuals will use riverine corridors for travel and hibernation. As a semi-terrestrial species, Blanding's often forage in wet prairies, sedge meadows or shrub-carrs adjacent to aquatic habitats. (See "Nest Location" below.)

**Over-wintering Habitat:** Blanding's utilize a wide variety of aquatic habitats for hibernation ranging from small ponds with less than 30 inches of water to trout streams, bays of lakes and drainage ditches. They have a preference for

## Appendix C Incidental Take Protocols

Authorized  
February 2000

mucky bottoms, although some individuals may not burrow in but remain semi-active throughout the winter, moving about under the ice.

### C. Life History

**Home Range:** Home range is highly variable and is quite dependent on the availability and proximity of foraging, hibernation and nesting sites. Blanding's are semi-terrestrial and will often move between different wetlands throughout the active season.

**Communal Behaviors:** NA

**Site Fidelity:** Blanding's often exhibit nest-site fidelity.

**Nest Location:** Blanding's do not nest communally. Many herpetologists have observed nest-site fidelity they believe is associated with the turtle's natal hatching site, although this has not been documented. Nesting occurs from along the shoreline to > 1.5 miles from aquatic habitat. They have a strong preference for nesting in sandy soils, which may partially explain why they travel so far from water to nest.

**Breeding:** Blanding's turtles may breed in any month but primarily breed in spring and fall. They are the slowest to mature of all the North American freshwater turtles, taking 16-20 years in Wisconsin.

**Nesting Period:** Nesting usually occurs from early-mid June but may occur as early as May 20 or as late as early July. Most nesting begins around dusk. Females can produce one viable clutch of eggs annually, but the majority typically lay eggs in alternating years (every other year). Eggs generally hatch in 60-80 days in WI (early August through September). Blanding's have not been documented to overwinter in the nest.

#### **Activity periods:**

Seasonal: Blanding's become active as soon as ice begins to recede in March and April and they can be seen basking along or adjacent to open shorelines on sunny days when temperatures reach about 50°F. Shortly after emergence, they seek out shallow aquatic environments due to warmer water and increased foraging opportunities. Gravid females will often hask for extended periods in the spring to speed egg development. During the heat of summer, especially during extreme heat, Blanding's may aestivate, becoming inactive in either an aquatic or terrestrial habitat. They begin heading for overwintering sites during September and hibernate in October.

Daily: Blanding's usually are active during the day, beginning with morning foraging.



## Appendix C Incidental Take Protocols

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February 2000

### II. Management Protocols For Authorizing Incidental Take

If the management activity is for the purpose of recovering, maintaining or improving the grassland, prairie or savanna ecosystem that includes habitat for Blanding's turtles, then incidental take is allowed if these conditions are followed.

If incidental take of Blanding's turtles occurs from the activity, please notify BER so we can reevaluate this guidance.

#### A. **Burning:**

Spring or Fall burning is allowed under the following conditions:

1. If spring or fall burning will occur when temperatures are below 50°F, or above 50°F but overcast, then there are no restrictions.
2. If spring or fall burning will occur when temperatures are at or above 50°F and skies are sunny to partly cloudy, then wetlands where Blanding's are known or suspected to occur should be surveyed immediately prior to burning to locate and move ("rescue") specimens (e.g., place in the water).\*

*\*Surveys involve a walk along the perimeter of each affected wetland searching for turtles basking in the vegetation within a border extending approximately 15 feet inland from the existing surface water area. On most properties, these surveys can be done with minimal time and effort. If conducting the burning will take several hours, it may be advantageous to burn a buffer area around the wetland (15-20 feet wide) following surveys, to minimize take. Contact Bob Hay in BER if these "rescue" surveys are not practicable.*

#### B. **Mowing/Haying:**

For mowing that may occur in upland sandy habitat suitable for nesting:

1. If done between July 6 and May 19, there are no restrictions.
2. If done between May 20 and July 5, conduct mowing only during the hours of 10 a.m.- 5 p.m..

#### C. **Selective Brush/Tree-cutting:**

Non-mechanical brush and tree cutting (i.e., chain saw) may be done without restriction.

## Appendix C Incidental Take Protocols

Authorized  
February 2000

### **D. Grazing:**

If light-to-moderate grazing (0 to < 1.0 head per acre) is used during the nesting and incubation period (May 20-September 30) there are no restrictions. For heavier grazing, contact BER.

### **E. Herbiciding:**

In areas where Blanding's turtles are suspected or known to nest, herbiciding should be conducted as follows:

Spot treat herbaceous vegetation, preferably with a low persistence/short half-life herbicide (i.e. Round-up®), and apply by wick, sponge or hand-held spray application. Avoid broadcast applications.

Use basal bark or cut-stump-treatment methods when controlling woody vegetation.



Authorized  
February 2000

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**Protocol  
For  
Incidental Take Authorization**

**Eastern Massasauga Rattlesnake (*Sistrurus catenatus catenatus*)**

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**Note**

*If carrying out a given protocol is not feasible, or multiple listed species in a given management area pose conflicts, contact the Bureau of Endangered Resources at 608/264-6057. Staff in BER will work with Integrated Science Services (Research) staff, species experts and managers to establish an acceptable protocol for a given site that will allow for incidental take without further legal Consultation or public notice.*

**I. Species Background Information**

**A. Status**

**State Status:** Endangered.

**USFWS Region 3 Species of Management Concern:** Yes and a candidate for federal listing.

**Number of known WI sites:** 6 extant sites are known since the mid-1980's although a total of 49 occurrence records exist; several historical locations are currently being surveyed to determine presence/absence.

**Global Range:** Southern Ontario and central New York west to extreme eastern Minnesota and south into northern Missouri and central Illinois. In Wisconsin it is presently occurring to Buffalo, Juneau, Monroe, Pepin, Trempealeau and Walworth counties.

**B. Habitat**

**General Habitat Description:** The massasauga is not a habitat specialist, but it requires wetland habitat for overwinter survival. This species often occupies sedge meadow complexes associated with medium to large river systems in the state, although they also live in floodplain (lowland hardwood) forests. They are typically found in openings within these forests created by beaver activity,

## Appendix C Incidental Take Protocols

Authorized  
February 2000

logging, or other natural openings. Gravid females will often migrate to dry-mesic upland openings to incubate their developing young. These upland sites also include road or railroad dikes and levees built through or adjacent to occupied wetlands.

**Over-wintering Habitat:** Massasaugas almost always hibernate in wetlands, using crayfish burrows, crevices or rotted-out root canals to reach down to and below the water table to avoid freezing in winter. They may hibernate underwater in these settings. These areas typically flood in spring with no apparent impact to individuals.

### C. Life History

**Home Range:** Variable across its range. Average home range for adult WI males is about 400 acres and non-gravid adult WI females about 102 acres. Gravid WI females' home range is about 7 acres.

**Communal Behaviors:** NA

**Site Fidelity:** Some individuals return to the same hibernation location annually.

**Nest Location:** NA

**Breeding:** Mating can occur at any time during the active season but peaks in spring and fall. Females are capable of producing young annually, but likely only a portion breeds annually. Eight to twenty young are live-born, usually in August. Young mature in their third or fourth full year.

**Nesting Period:** NA

**Activity periods:**

Seasonal: Emergence from hibernation occurs from early-late April and is temperature and frost-out dependent. Usually three consecutive days of mid-60° weather following frost-out will trigger emergence, especially if accompanied by a warm rain.

Daily: Massasaugas are primarily diurnal but will become active at night during especially warm weather in summer. They typically emerge in mid-morning (8:30-10 am) to bask to warm their body temperatures. Once sufficiently warm they often become very difficult to locate as they either begin to forage or continue to bask under filtered cover to avoid overheating. Surveys for massasaugas are typically best during spring before vegetation becomes dense and tall or on cool (mid-upper 60's) overcast days in summer when they tend to be more exposed while seeking radiant heat. Survey periods should include both mornings and evenings and avoid temperatures above 80° F when sunny.



## Appendix C Incidental Take Protocols

Authorized  
February 2000

### II. Management Protocols For Authorizing Incidental Take

If the management activity is for purpose of recovering, maintaining or improving the grassland, prairie or savanna ecosystem that includes habitat for massasauga rattlesnakes, then incidental take is allowed if these conditions are followed.

Since there are no apparently stable massasauga populations in Wisconsin and each individual is deemed critically important to species survival, no incidental take is allowed. The following protocols are for avoiding take. Only the unlikely taking that may occur inadvertently despite following all the conditions of this consultation and the following management prescriptions is authorized. If incidental take of eastern massasauga rattlesnakes results from the activity, please notify BER so we can reevaluate this guidance.

#### A. **Burning:**

1. Burns of wetlands<sup>1</sup> (i.e. sedge meadows, fresh wet meadows, wet pasture) is allowed only between November 1 and April 5 with the following exceptions:
  - a) After April 5, burning may be conducted on days when the ambient air temperature is not expected to reach 50° F during the hours involving the burn.
  - b) On burn days prior to April 5 in years where there is an unusually warm spring (frost-out occurs in mid-late March and temperatures reach 60°F on any 3 consecutive days), follow the guidance in the above sentence or contact Bob Hay if you are unsure about the decision.
2. Burning of upland grassland habitats (i.e. mesic or dry mesic prairies or old fields): Allowed only if conducted between October 1 and May 1.

#### B. **Mowing/Haying:**

1. If done in wetlands between November 1 and April 4 there are no restrictions.
2. If done between April 5 and October 31, should only occur when temperatures are below 50° F.
3. If done in uplands between October 1 and May 1 there are no restrictions.

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<sup>1</sup> Note: Since surveying for massasaugas is most productive under post-burn periods (the vegetation and duff is gone), please contact BER whenever you conduct a wetland burn on a known or likely massasauga site, so BER can conduct surveys immediately following the burn and prior to green-up. This is our best opportunity to conduct presence/absence surveys and assess population status.

## Appendix D Ducks Unlimited Recommendations

June 22, 2005

John Steinbrink, Jr.  
Superintendent of Streets & Parks  
Village of Pleasant Prairie  
8600 Green Bay Road  
Pleasant Prairie, WI 53158

Dear John,

Thank you for taking the time to meet with us to discuss and tour Prairie Springs Park on April 19<sup>th</sup>. The Village has a great parcel that not only provides benefits for waterfowl and other wildlife but also the public. Because of the park's location and high use, you have a unique opportunity to educate the public with respect to the importance of the environment and the need for protecting, enhancing and managing our natural resources.

From what we observed on site, I believe there are four wetland enhancement opportunities on the property. The first involves Jerome Creek north of Lake Andrea (our first stop or Site A on the attached map). It is apparent that Jerome Creek at some time was channelized and dredged to facilitate draining this area. The creek could be restored to its historic channel and the spoil banks removed from the north side of the creek. The old stream channel can be identified by examining historic aerial photos. Restoring historic meanders and eliminating the spoil banks on the north side of the creek will restore hydrology to this stretch of the creek dampening flood events by slowing flows and allowing the creek to spill into its floodplain during high water events, which will provide valuable habitat for wetland dependent wildlife. Given the high visibility of this location, Site A would be an outstanding place for an observation platform or boardwalk along with educational/partnership signage.

The second opportunity (and the best in my opinion) is the drainage with the beaver dam on the far northwest end of the property (Site B on the attached map). The culvert under the road crossing could be replaced with a water control structure to facilitate water level management on the wetland basin that lies directly north of the old horse track. This wetland is currently choked with cattail, which provides limited value to wetland wildlife. A water control structure would give you the opportunity to dry out and reflood this wetland mimicking wet/dry cycles that naturally occur in wetlands. Following a draw down, the area could be burned and subsequently flooded to control cattail and allow beneficial moist soil plants such as smartweed and millet to reestablish. Because this wetland basin extends onto private land a flood easement or written permission from the landowner would need to be secured prior to this work. If this enhancement project interests you I would suggest starting a dialogue with this landowner to inform him/her of



## Appendix C Incidental Take Protocols

Authorized  
February 2000

### **C. Selective Brush/Tree-cutting:**

Selective cutting (i.e., using a chain saw) may be done without restriction.

### **D. Grazing:**

Light to moderate grazing (0 - <1.0 head per acre) is allowed but should be ceased if more than 50% of the vegetation is cropped below 8 inches in height.

### **E. Herbiciding:**

To the maximum extent possible, herbiciding should occur during the snake's dormant period (Nov. 1- April 5).

Where active season herbiciding is necessary to control herbaceous vegetation, spot treat, preferably with a low persistence/short half-life herbicide (i.e. Round-up®), using wick, sponge or hand-held spray applications, not broadcast spraying.

Basal-bark or cut-stump-treatment methods should be used when treating woody vegetation.

## Appendix D Ducks Unlimited Recommendations

the Village's desire and how the project may impact their land (i.e., increasing water levels on their property).

The last two opportunities are where the small creek that runs under the Interstate enters the Des Plaines River from the west (Site C on the attached map) and where the low drainage area that runs north south enters the Des Plaines River (Site D on the attached map). Depending upon your goals for the area, you could construct earthen berms with water control structures to facilitate water management on these low areas. Both these areas are choked with vegetation (Site C with phragmites & Site D with Three-square) and have few open water areas for waterfowl. Water control structures would allow you to create openings by stacking additional water on these areas. However, these areas appear to be functioning naturally with water backing into these areas from the river during high water events and receding as water levels return to normal. In addition, these sites are located in the floodway of the Des Plaines River and it may be difficult to obtain the necessary permits for this work.

Finally, the bottomland forest areas adjacent to the Des Plaines River provide an ideal opportunity to erect and maintain wood duck boxes. My understanding is that the local Ducks Unlimited (DU) chapter has expressed an interest in building, erecting and maintaining wood duck boxes on the property.

Below I have developed what I envision as logical steps in the process should the Village decide to pursue these wetland enhancement opportunities in partnership with DU.

### Year 1

- DU biological/engineering recon with partner.
- Determine scope of restoration/enhancement project(s).
- Develop cost estimate for detailed survey work (we recommend completing a detailed topographic survey for the property because contours provided on the Conservation Plan working map lack the necessary detail for designing wetland enhancements of this nature).
- Identify and secure funding source(s) to pay for survey work.
- Complete survey and develop conceptual plan and cost estimate for wetland restoration work.
- Identify and secure funding source(s) to pay for restoration work.
- Develop DU Site Specific Agreement outlining DU and partner responsibilities.
- Complete final restoration plans and refine cost estimate.
- Acquire necessary permits.

### Year 2

- Send bid packages to potential contractors, conduct pre-bid meeting on site and award bid.
- Stake restoration site(s) and conduct pre-construction meeting on site.
- Construct project with DU engineering oversight.



## Appendix D Ducks Unlimited Recommendations

- Conduct final project walk through with partners and perform project as-builts.
- Conduct project dedication to publicize partnership and project.

Since 1937, DU has worked to conserve, restore, and manage wetlands and associated habitats for the benefit of North America's waterfowl, other wildlife, and people. DU is the world's largest private waterfowl and wetlands conservation organization, with a membership exceeding 650,000. To date, DU has conserved more than 11 million acres of habitat on private and public lands in Canada, Mexico, and each of the 50 United States. In Wisconsin, our membership exceeds 47,000 and since 1988 we have invested over \$10 million to conserve more than 73,000 acres of critical wildlife habitat statewide.

Our professional staff of biologists and engineers specializes in the planning, survey and design of wetland restorations. Our staff can conduct the necessary survey work and provide a conceptual restoration plan at an estimated cost of \$16,571 (please see attached topographic survey proposal). Ducks Unlimited also may be able to provide some cost share assistance and also help identify and pursue additional funding sources such as North American Wetland Conservation Act and foundation grants to assist in getting this work done.

Thanks again for taking the time to meet with us and please contact me at your earliest convenience if you are interested in pursuing these exciting opportunities.

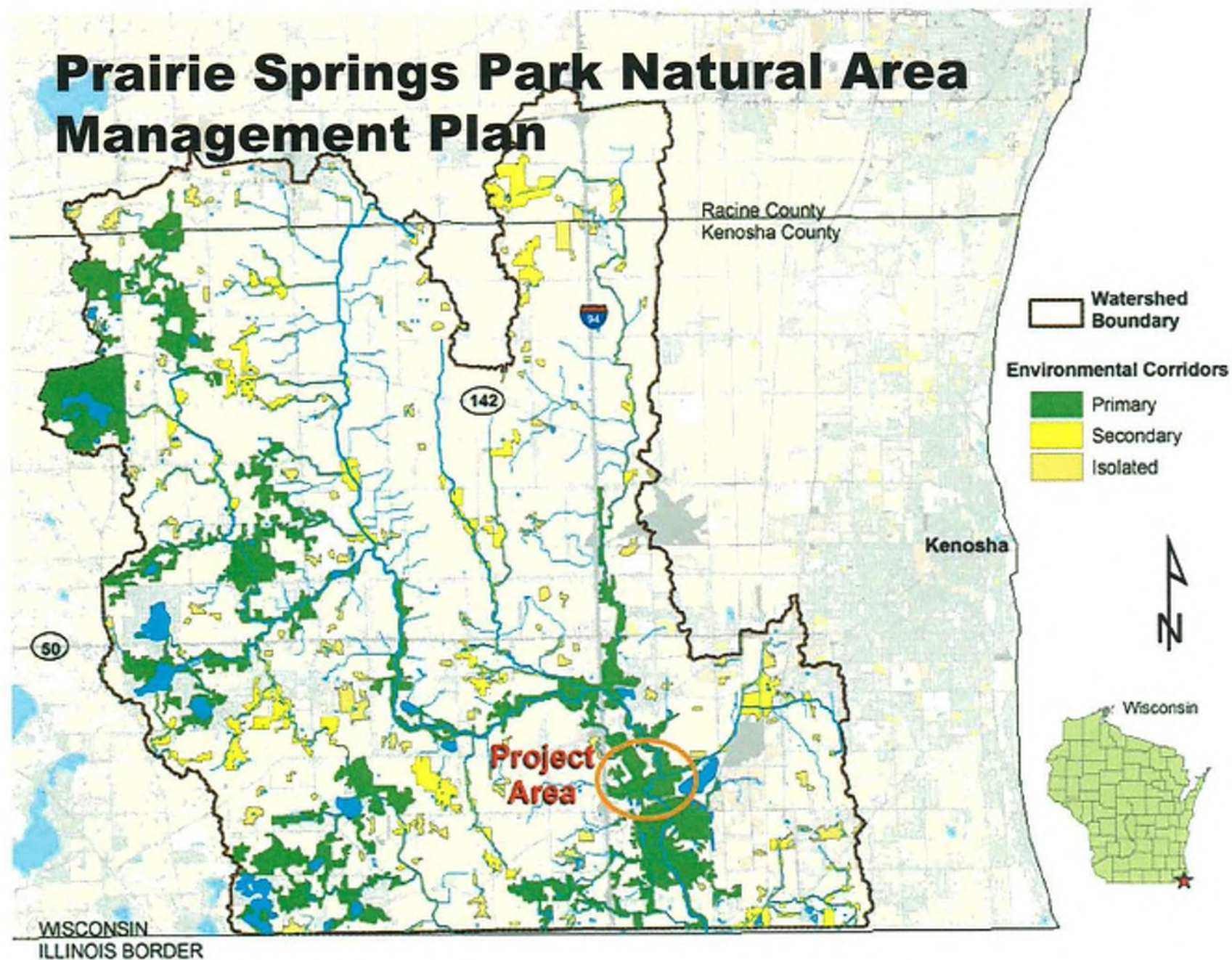
Sincerely,

John M. Coluccy, Ph.D.  
Regional Biologist

CC: Jim Grueber, Lon Knoedler, Chad Navis

Enclosures

# Prairie Springs Park Natural Area Management Plan

















# Prairie Springs Park Natural Area Management Plan Project Area

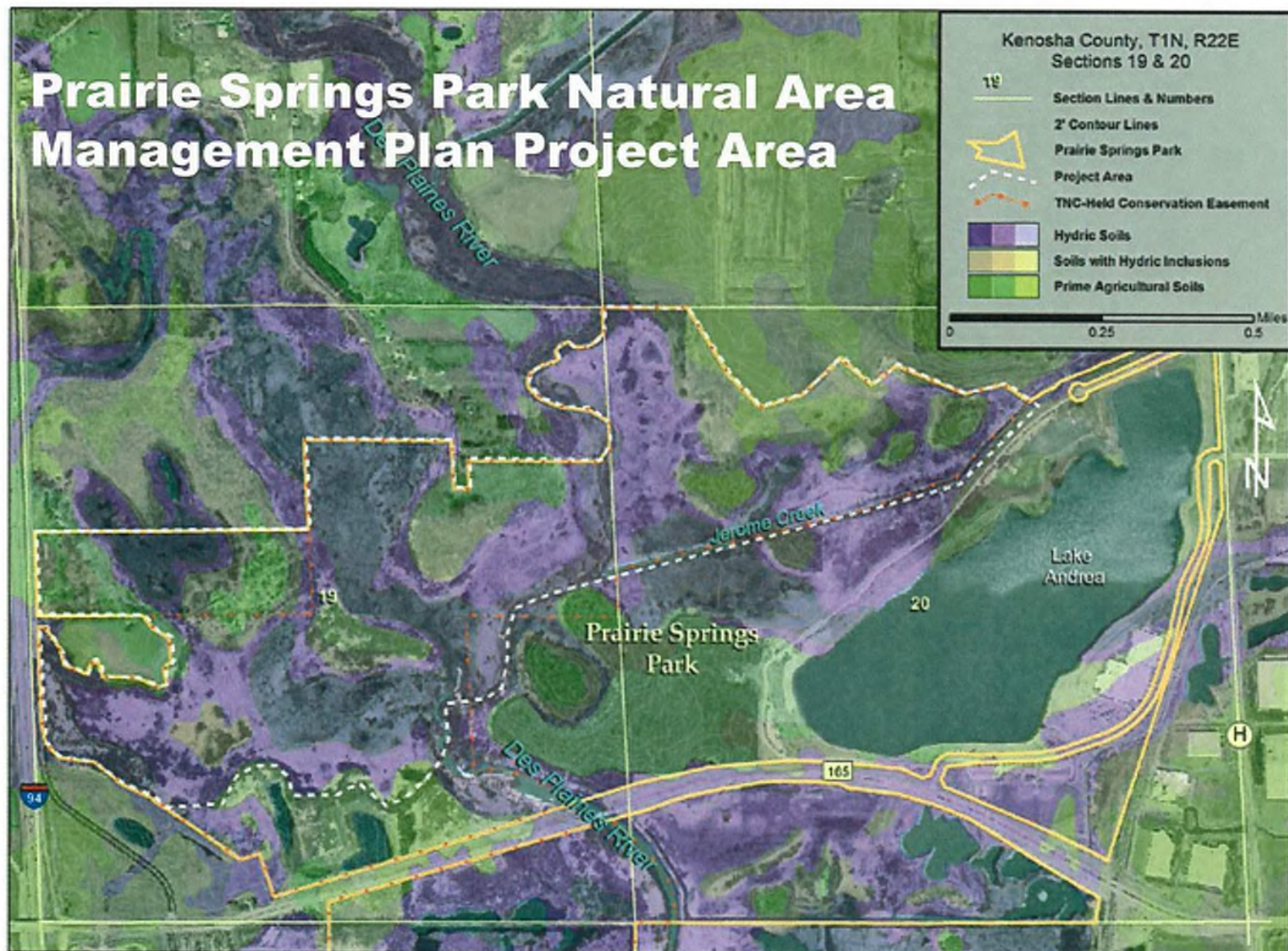
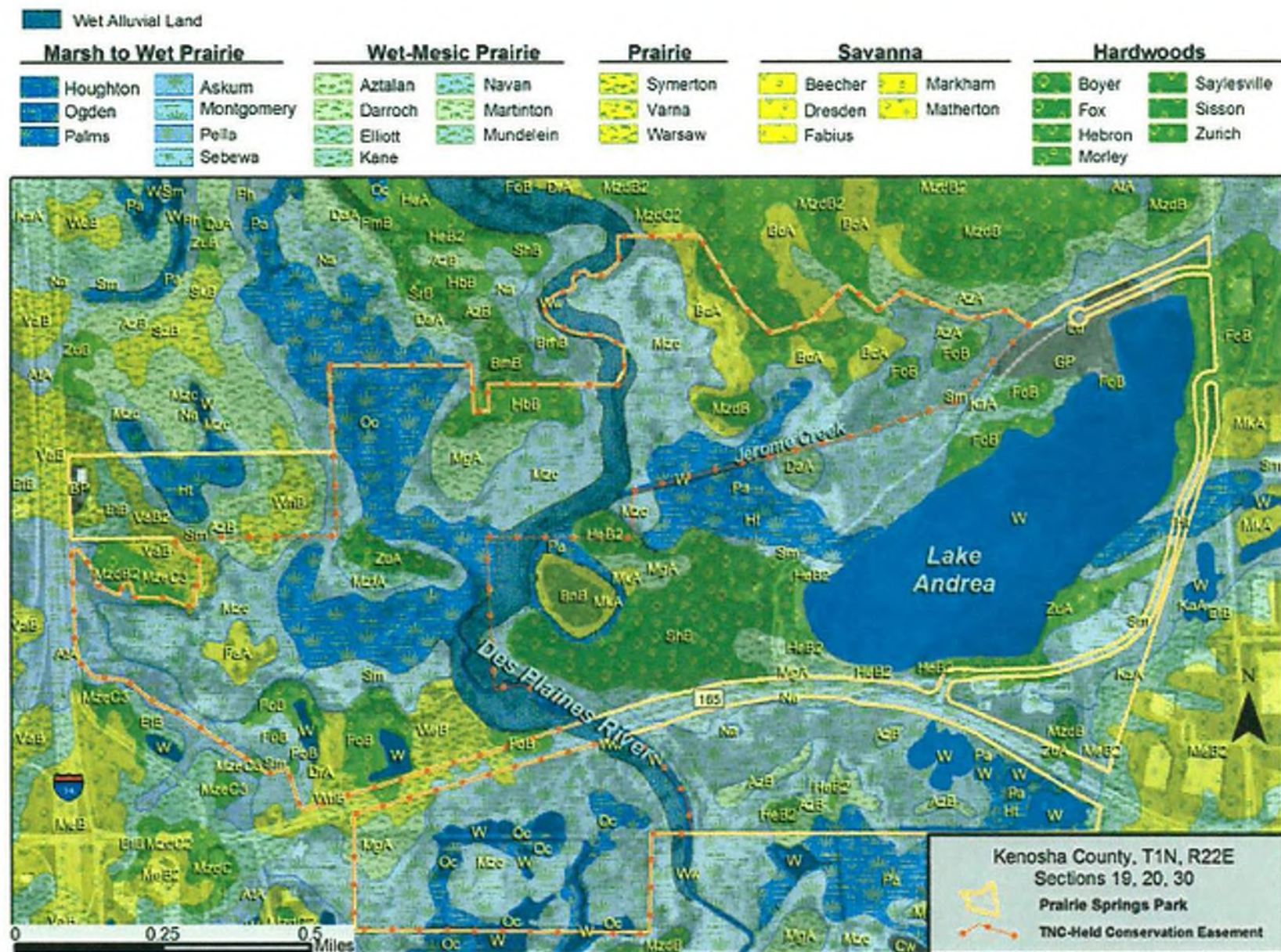




Figure 4. Soil Series and Historic Vegetation





-28/41

XD-2B-1

**Aerial Photo Taken on October 28, 1941**



Source: NRCS



# Steam Channel Modifications





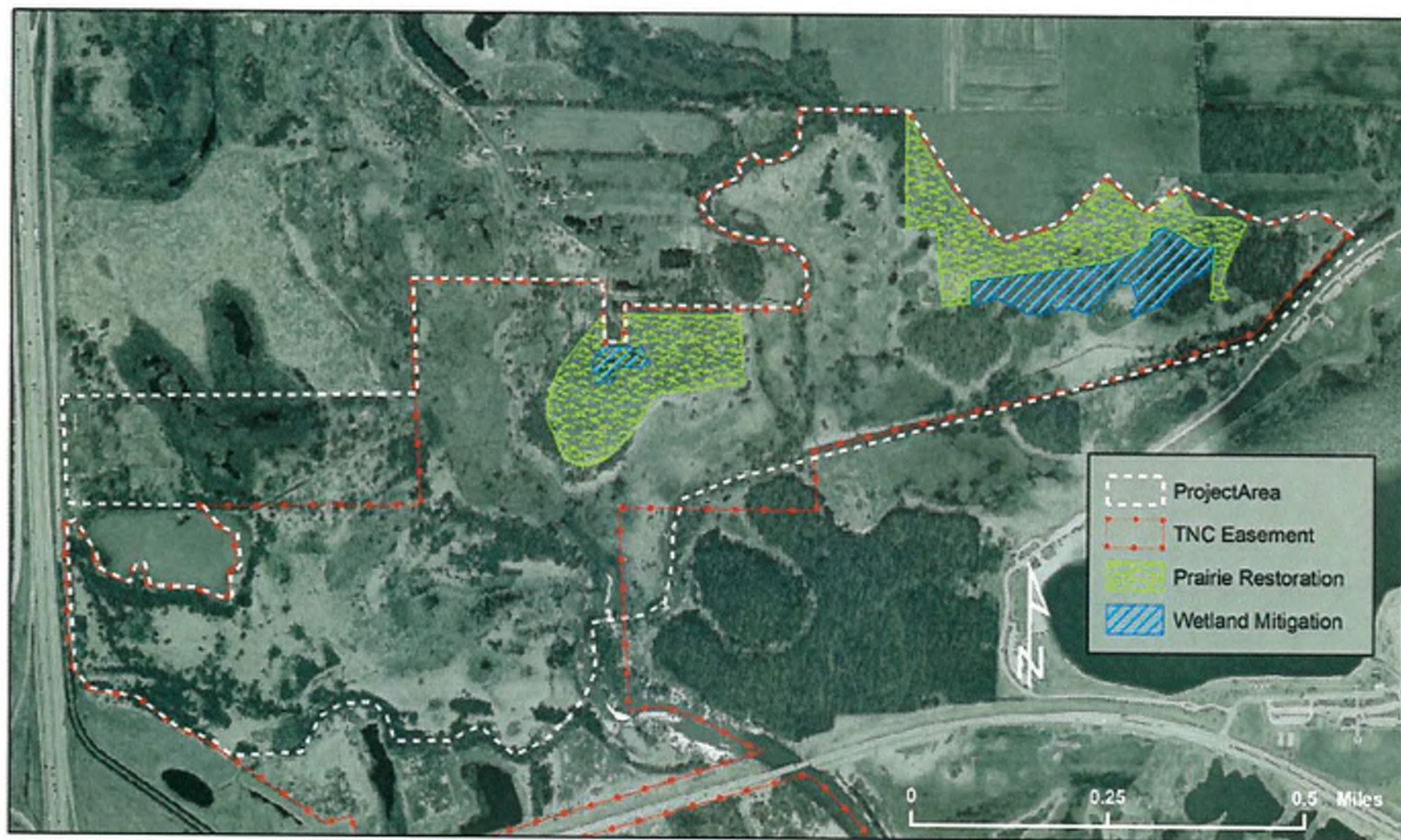








## Wetland Mitigation and Prairie Restoration Locations

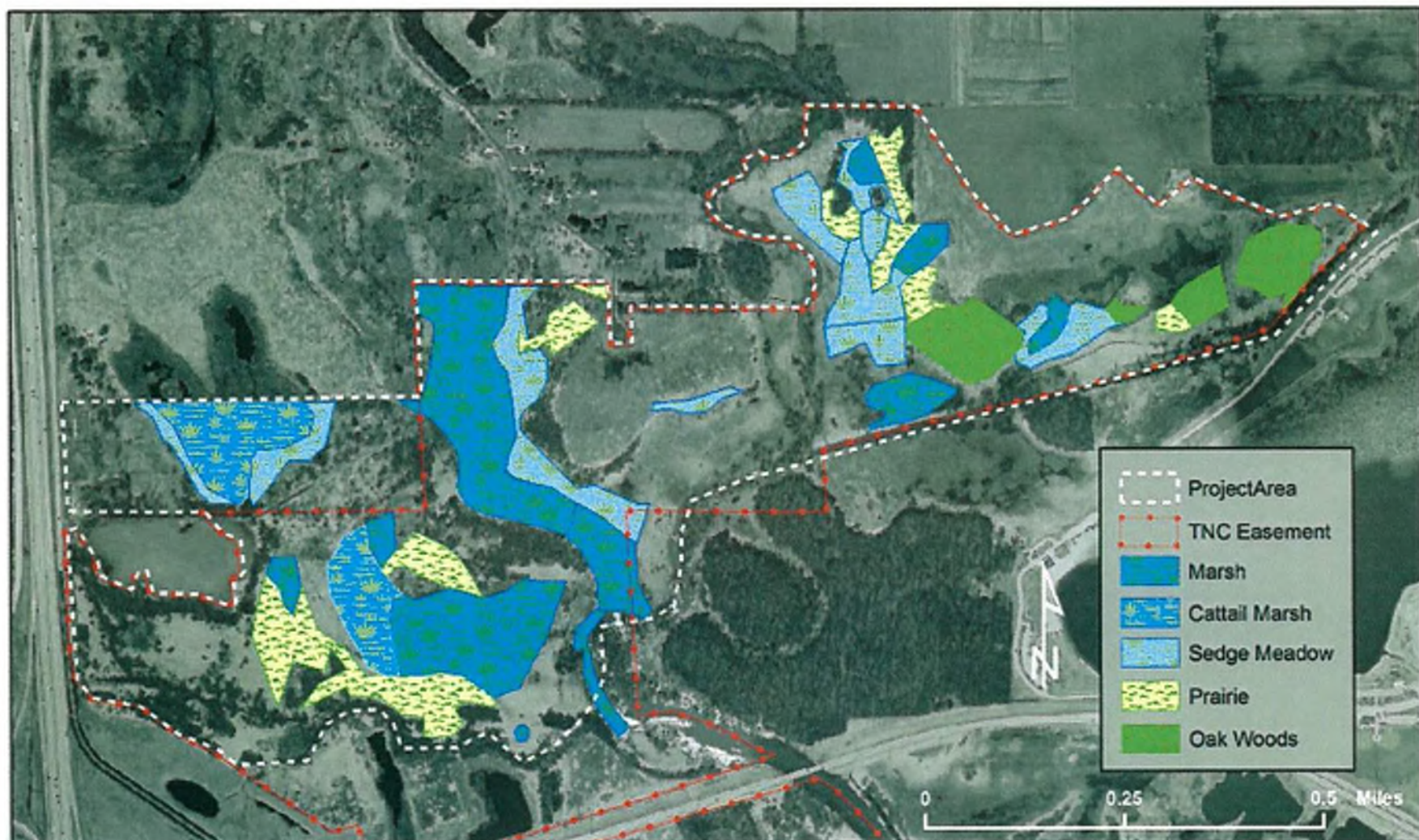








## Existing Native Plant Communities













# Reed Canary Grass Infestation













## Invasive Tree and Shrub Growth

















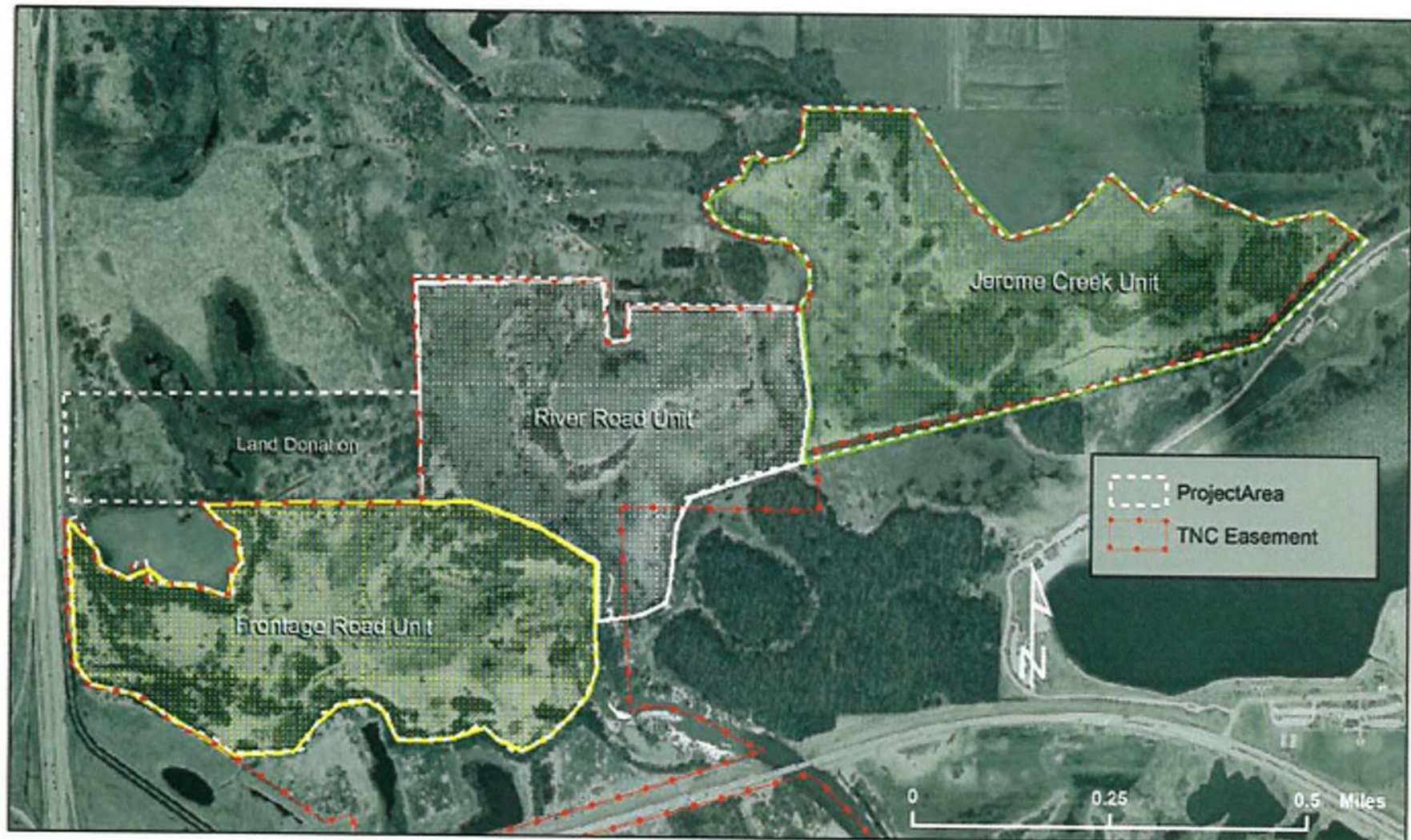




# **Management Plan**

- Eradicate invasive woody vegetation
- Implement a long-term prescribed burn program, coupled with a reed canary grass control program
- Eradicate invasive Phragmites from areas surrounding the Prairie Springs Park Natural Area
- Monitor for and eliminate other invasive plant species

# Management Units









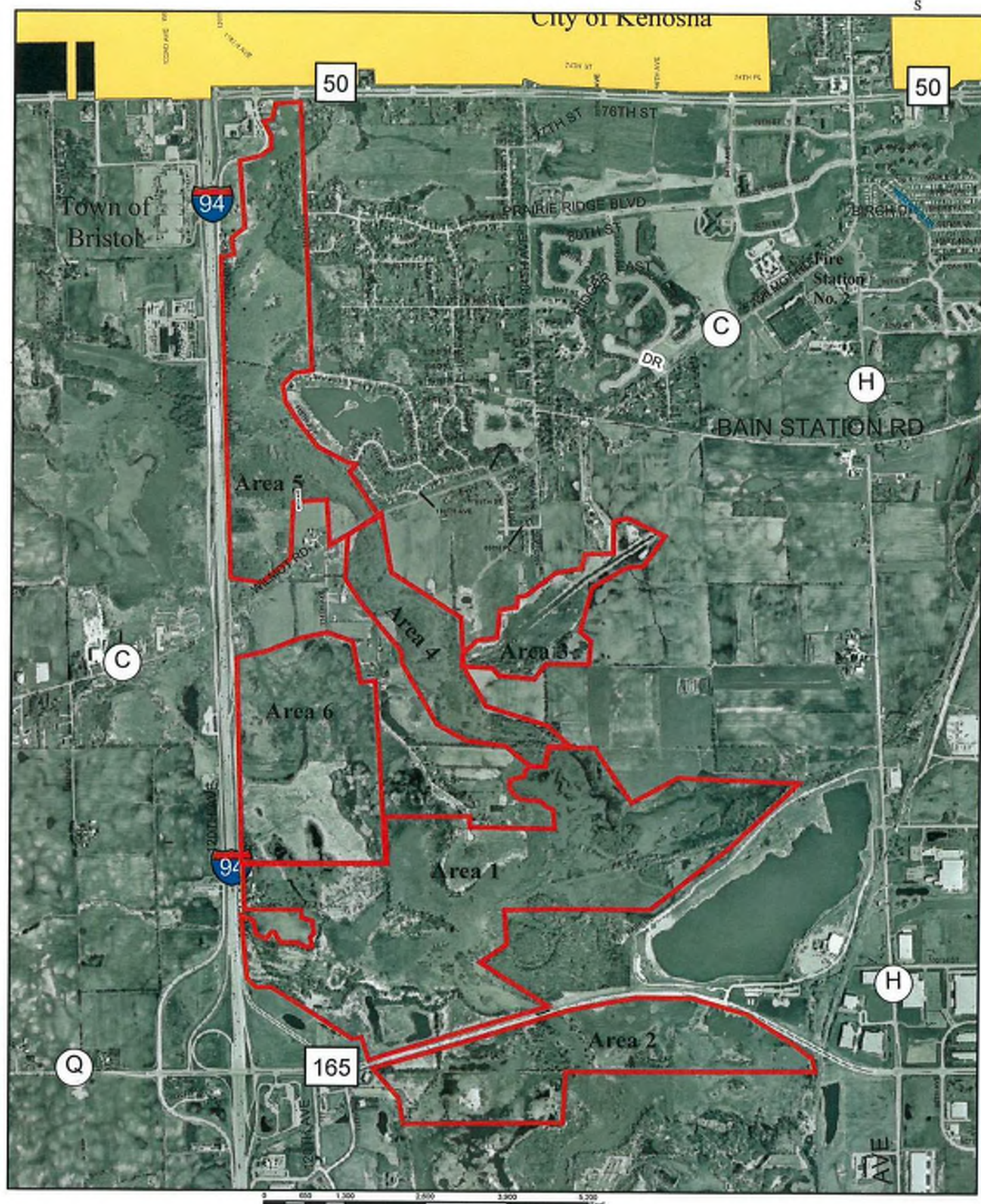
# **Other Possibilities**

## **Establish a Technical Advisory Team to Determine:**

- If adding meanders to Jerome Creek could be implemented to slow stormwater flow and improve native ecosystems
- How to best relax the stream banks and reestablish native sedges and grasses along the modified portion of the Des Plaines River

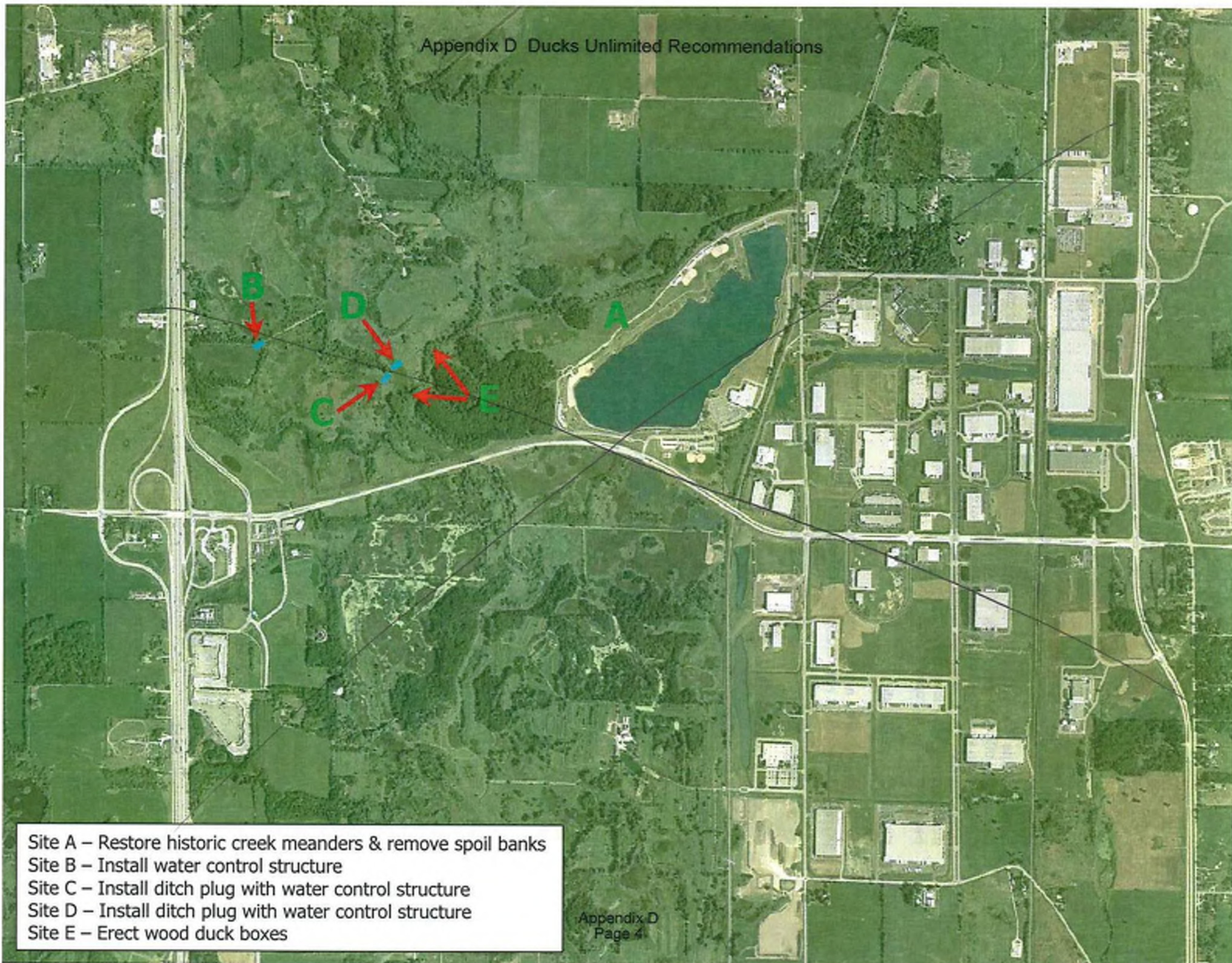


Natural Area Preservation Project  
Village of Pleasant Prairie





Appendix D Ducks Unlimited Recommendations



- Site A – Restore historic creek meanders & remove spoil banks
- Site B – Install water control structure
- Site C – Install ditch plug with water control structure
- Site D – Install ditch plug with water control structure
- Site E – Erect wood duck boxes



## Appendix E Grant Opportunities

### Recreational Trails Program

(1998 Transportation Equity Act for the 21st Century (TEA - 21))

Funding for the Recreational Trails Program (RTP) is provided through federal gas excise taxes paid on fuel used by off-highway vehicles. Towns, villages, cities, counties, tribal governing bodies, school districts, state agencies, federal agencies and incorporated organizations are eligible to receive reimbursement for development and maintenance of recreational trails and trail-related facilities for both motorized and non-motorized recreational trail uses. Eligible sponsors may be reimbursed for up to 50 percent of the total project costs.

Eligible projects include:

- Maintenance and restoration of existing trails.
- Development and rehabilitation of trailside and trailhead facilities and trail linkages.
- Construction of new trails (with certain restrictions on Federal lands).
- Acquisition of easement or property for trails.

Projects are ranked in order of funding priority:

- Rehabilitation of existing trails.
- Trail maintenance.
- Trail development.
- Trail acquisition.

Regional DNR staff reviews and ranks eligible projects. Projects are then ranked in a statewide priority listing. The highest ranking projects will be funded to the extent that funds are available.

### River Protection Planning

(ss. 281.70 and 281.71, Wis. Stats.; ch. NR 195, Wis. Admin. Code)

Counties, cities, towns, villages, tribes, other local governmental units as defined in s. 66.0301 (1)(a) Wis. Stats, qualified river management organizations, and qualified nonprofit conservation organizations are eligible to apply for funding to:

Collect, assess and disseminate information on riverine ecosystems.

Assist in developing organizations to help manage rivers.

Assist the public in understanding riverine ecosystems.

Create management plans for the long term protection and improvement of riverine ecosystems.

Eligible grantees can be reimbursed up to 75 percent of eligible project costs, not to exceed \$10,000.

Eligible projects include:

- Organizational development for existing river protection/improvement organizations
- Assistance with the formation of a qualified river management organization.
- Public education projects.
- Planning and assessment projects such as:
  - Development of management strategies, plans, and special project designs to identify appropriate river protection projects.
  - Collection and assessment of water quality, water quantity, and biological/environmental data.
  - Collection of sociological data necessary for the development of a river management plan.
  - Description and mapping of existing and potential land and water resource conditions.





## Appendix F:

### Adoption

- B. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-02 FOR A COMPREHENSIVE PLAN AMENDMENT** to amend a portion of the **Lakewood Neighborhood Plan**, for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.

**Recommendation:** Village staff recommends that the Plan Commission approve Plan Commission Resolution #19-02 and send a favorable recommendation to the Village Board to approve the Neighborhood Plan as present in the January 14, 2019 Village Staff Report.

- C. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.

**Recommendation:** Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to conditionally approve the Conceptual Plan subject to the comments and conditions of the January 14, 2019 Village Staff Report.



## **VILLAGE STAFF REPORT OF JANUARY 14, 2019**

### **CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-02 FOR A COMPREHENSIVE PLAN AMENDMENT**

to amend a portion of the **Lakewood Neighborhood Plan**, for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.

**CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Nancy Washburn, agent on behalf of Harpe Development LLC, owner of the properties at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165) for the proposed 6-3 unit condominium buildings and 14-2 unit condominium buildings development to be known as Green Bay Trail Condominiums.

**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME; HOWEVER SEPARATE ACTIONS WILL BE REQUIRED.**

**Background:** *On June 18, 2007, the Village Board approved the Final Condominium Plat, Development Agreement and related Exhibits for the Vintage Parc Condominium development which included 3-6 unit and 12-4-unit condominium buildings (66 units) at the southeast corner of Old Green Bay Road and 104<sup>th</sup> Street (STH 165). Infrastructure construction began and some public improvements were installed including the mass grading and installation of the retention basin, underground utilities, utilities and binder course of the roadway including curb and gutter. However, due to the downturn in the economy all of the required public improvements were not completed and no condominium buildings were built. The existing Development Agreement remains in effect and the Village has letter credit funds to finish the required public improvements per that agreement.*

*In November 2018 the Village Board approved an Assignment of the existing 2007 Development Agreement to Harpe Development LLC, the developer. Harpe Development, LLC has agreed to assume all obligations of under the Development Agreement, including being financially responsible for the completion of the Required Public/Private Improvements in the Development. Harpe Development, LLC has provided the Village with the required financial security (Letter of Credit), based on a 2018 Village Engineer's cost estimate identifying the currently known outstanding construction-related costs for the Development. Additional financial security will be required to be secured by a Supplemental Letter of Credit based upon the new final engineering plans for the new development. It is intended that a new Development Agreement will be entered into with the developer based on the new development plans and costs.*

**Conceptual Plan:** At this time, the petitioner (also referred to as the developer) is requesting approval of a Conceptual Plan for the re-development of this property. The existing Vintage Parc Final Plat is proposed to be vacated along with some easements and the property is proposed to be re-developed with 6-3 unit and 14-2 unit condominium buildings (46 units) to be known as Green Bay Trail Condominiums. The development proposes to utilize as much of the existing infrastructure that was installed as possible; however, the stormwater pond is being reshaped and some utilities would need to be relocated to allow for the new development layout.

The 2 unit buildings will be ranch-style condominiums with an attached 2-car attached garage and a full basement. Each building will have a 2 bedroom with a 2 bath unit that is 1,626 square feet and a 3 bedroom with a 2 bath unit that is 1,691 square feet. The 3 unit

buildings will be two stories. **Two of the unit's** will be ranch style with a 3-car attached garage, full basements with 2 bedrooms and 2 baths. One unit will be 1,617 square feet and the other will be 1,629 square feet. The upper unit will have 2,276 square feet of living space on the 2<sup>nd</sup> floor with an entry foyer with extra storage space on the 1<sup>st</sup> floor that is 244 square feet. This upper unit will have a 2 car attached garage (extra deep), 3 bedrooms, 2 bathrooms, an office, and a covered deck

The developer anticipates starting construction this spring 2019 and projects that the development will be completed within 2 to 3 years. In addition, the Developer has submitted draft Deed Restrictions, Covenants and Easements, along with conceptual elevations and floor plans for the proposed condominium buildings.

**Comprehensive Plan Compliance and Density:** The proposed development is consistent with the Village's Comprehensive Land Use Plan, however, the Lakewood Neighborhood Plan is being amended to reflect the new layout and the reduced number of units (reduction from 66 units to 46 units).

**Zoning:** The property is currently zoned R-10 (PUD), Multi-family Residential District with the Planned Unit Development Overlay District. At the same time that the Final Condominium Plat is considered, a new PUD Ordinance will be created for this development (while the Vintage Parc PUD Ordinance will be repealed).

Developing this site with a PUD Overlay will allow for a modification of a few of the Village Zoning Ordinance requirements provided there is a defined benefit to the community. The PUD will allow for more than one (1) building per property, slightly reduced street setbacks

- 60 feet from STH 165
- 50 feet from Old Green Bay Road
- 25 feet from 105<sup>th</sup> Street and 65<sup>th</sup> Avenue (provided that from the edge of the garage to the sidewalk there is a minimum of 20 feet to allow a car to be parked in the driveway without encroaching into the sidewalk)
- 20 feet from the back of curb to the private drive cul-de-sac for units 13-17

There shall be a minimum separation distance between buildings (including decks and porches) a minimum of 20 feet. These reductions would be supported by staff in the PUD Ordinance provided that all units have individual entries with no common hallways, exterior materials are maintenance free and include elements of natural stone or brick materials. Other community benefits include increased landscaping, and improved quality of architectural materials standards.

The Village staff will begin preparing a detailed PUD Ordinance for review by the Developer and the Village Plan Commission and Village Board when the Preliminary Plat is proposed. The required public hearing for the PUD Ordinance will be held at the same time as the Village Plan Commission and Village Board considers the Final Condominium Plat and related documents.

**Municipal Improvements:** Municipal sanitary sewer and water shall be provided to service all of the condominium units within this development. Sanitary sewer and water were installed by the previous developer; however, due to the reconfiguration of the buildings, some sewer/water mains and laterals will be relocated/extended.

The storm water retention basin facility and storm sewers for this development has already been constructed/installed. However, the basin and the storm sewers are proposed to be reconfigured slightly to accommodate the new buildings layout.

Sidewalks are now required in all developments and will be required in this development pursuant to the engineers comments. The Public roadways will be constructed pursuant to



the Village specifications as noted in Chapter 405 of the municipal code, with some slight adjustment since a portion of the improvements are installed.

**Platting and Certified Survey Map:** In addition to the required Preliminary and Final Condominium Plat, a Certified Survey Map (CSM) will be required to be approved to dedicate any new easements and to set forth additional restrictive covenants language. As part of the Final Condominium Plat and CSM approval, the developer shall execute the Development Agreement, provide all Exhibits and provide a supplemental Letter of Credit as financial security to the Village as a guarantee for the installation, inspection and warranty of the remaining public improvements. There is an existing Letter of Credit that was provided to the Village in December 2018 in the amount of \$229,900.00. Required modifications/additions to the Engineering Plans will require an addition or supplemental Letter of Credit to finish the remaining improvements for the project. In addition, the existing vacation documents for the existing Vintage Parc Condominium Plat and any existing easements shall be submitted, approved, executed prior to recording the new Plat, CSM and other associated documents.

**Transportation Improvement Fees** for the future widening/reconstruction of the Old Green Bay Road and STH 165 intersection in the amount of \$187,453.11 have already been deposited with the Village. These intersection improvements are anticipated to being in the late spring/summer of 2019 as part of the Main Street Market development.

**Village staff recommends that the Plan Commission adopt Plan Commission Resolution #19-02 and recommend to the Village Board that the Lakewood Neighborhood Plan be amended as presented.**

**Village staff recommends conditional approval of the Conceptual Plan subject to the above comments and the following conditions:**

1. **The Conceptual Plan approval shall be valid for a period of one (1) year. Prior to the expiration of the Conceptual Plan, the Preliminary Condominium Plat, which satisfies the conditions of the Conceptual Plan approval shall be submitted and considered by the Village Plan Commission and Village Board.**
2. **The following comments shall be addressed and included with the Preliminary Condominium Plat submittal:**
  - a. On the cover sheet use the current Government Contact list. See ***attached***.
  - b. See ***attached*** comments from the Village Engineer dated January 9, 2019.
  - c. All utility connections shall be located outside the driveway. (Further discussion may be warranted.)
  - d. See ***attached*** comments from the Village Fire Department dated December 13, 2018.
  - e. On Sheet C1.0 label the setback dashed lines along the perimeter of the site. These are not labeled.
  - f. On Sheet C1.0 label the distance between the centerline of the driveway to the centerline of the adjacent public streets.
  - g. Building 7 shall be adjusted and per parallel to the 65<sup>th</sup> Avenue when extended without the temporary cul-du-sac. The setbacks should be measured to the right-of-way line not the back of the curb. Verify that the distance between the back of the curb of the temporary cul-de-dac and the face of the garage is 20 feet minimum to ensure a car can park in the driveway.

- h. Adjust the driveways for units 15 and 16 so that they do not overlap. There shall be green space between the driveways. The minimum setback that the Village will support for building 15 to the north property line is 60 feet.
- i. Where will snow be stored for the private cul-de-sac?
- j. Further discussion is warranted related to the placement of the required public sidewalks and street trees to determine if they be constructed/installed in the right-of-way or if additional easements will be required. In addition, to verify if any existing street lights need to be relocated. All building setbacks to the public/private streets will need to be evaluated to ensure that there is at least 20 feet from the back edge of the sidewalk to the garage to allow a car to be parked in the driveway and not encroach into the sidewalk area.
- k. The following comments relate to the required Landscaping Plan:
  - i. The Landscaping Plan shall utilize the grading plan as its base map.
  - ii. The Landscaping Plan shall show all easements to verify that there are no conflicts.
  - iii. The Landscape Plan shall include detailed plantings adjacent to the buildings, within the common space areas and around the stormwater pond.
  - iv. The Landscape Plan shall provide foundation plantings around all of the units.
  - v. The Landscape Plan shall clearly provide for and show the public street trees within the public right-of-ways or if they need to be located outside of the public right-of-ways then an easement will be required to be dedicated on the CSM and shown on the Plat. The exact size of the any additional easements will need to be reviewed when revised engineering and landscape plans are provided.
  - vi. The Landscape Plan shall indicate the species, location and both the planting and mature size of each particular type of tree/shrub.
  - vii. The Landscape Plan (as a community benefit) shall provide a significantly greater amount and sizing of trees, bushes, and other plantings and of larger size along the properties outer boundaries. Further discussion is warranted regarding berms and other landscape elements which shall be included.
  - viii. Show the location of the required development entry sign (two will be allowed at each street entrance). The sign setback is 15 feet from the right-of-way and shall provide landscaping at the base of the sign.
  - ix. Identify the common mailbox locations and mailbox details within the development and whether they will be landscaped.
- l. See **attached** comments related to the building elevations.
- m. See **attached** changes/corrections/discussion items comments related to the draft of the Bylaw and Declaration.
- n. The exact location and size of Utility Easements shall be verified with We Energies prior to Final Condominium Plat consideration. Dedication and Easement Provisions and Restrictive Covenants Language as prepared by the Village shall be included on the CSM for these Easements.



- o. All Utility, Storm Water, Retention Basin, Vision Triangle, Signage, Landscaping and other required Easements shall be shown on the Preliminary and Final Plats, Engineering Plans and Landscaping Plans. Dedication and Easement Provisions and Restrictive Covenant Language as prepared by the Village shall be included on the CSM for all of these Easements and the Dedicated Public Streets and any other easements yet to be defined. This language shall also be included in the Declaration of Condominium.
  - p. Further discussion is required related to the timing of the installation of the sidewalk within the development.
3. **Upon approval of the Conceptual Plan the following applications/documents shall be submitted (A pdf of all documents shall also be submitted):**
- a. Preliminary Plat Application, and application fee.
  - b. Full size copies of the Preliminary Plat-see application for number.
  - c. 3 sets of Preliminary Engineering Plans, Profiles and Specifications.
  - d. 3 sets of Landscape Plans (see comments above regarding plan requirements).
  - e. 3 sets of building plans and elevations.
  - f. Material/color sample board for the buildings.
  - g. Ownership operational documents for Harpe Development LLC.
  - h. Revised draft of Declarations.
  - i. Articles of Incorporation for the Condominium Association.
  - j. Revised draft of By-Laws.
  - k. Draft of the Association budget for common area maintenance, insurance and other responsibility items.
  - l. WE Energies application for Natural Gas/Electric for New Development for the Village to forward to We Energies with a PDF of the Engineering Plans.
  - m. PDF colored rendering of the Preliminary Condominium Plat, Landscape Plans, Building Elevations and any other renderings to explain the project.
  - n. Draft Certified Survey Map.
  - o. List and drawing that clearly shows all of the easements that need to be vacated. **Is the Developer or the Village's Attorney (at the Developer's expense drafting the vacation documents?**
4. The Preliminary Condominium Plat shall only be valid for two (2) years from the **Village Board's conditional approval, during which all conditions** must be satisfied and the Final Condominium Plat and Certified Survey Map shall be submitted. If the property is not final platted within the two (2) years of the Village Board's approval, the Village shall require that the Plat be resubmitted for a new Preliminary Condominium Plat approval along with the appropriate filing fees.
5. **Upon approval of the Preliminary Condominium Plat the following documents shall be submitted for Final approval.**
- a. Final Condominium Plat and all required documents noted in the application.
  - b. Engineering Plans, Landscape Plans, Building Plans and any other documents required for the Development Agreement.
  - c. Certified Survey Map application and related application fee.
  - d. Zoning Text Applications and related fee.
  - e. Vacation documents for the Final Condominium Plat and any existing easements.

6. Upon Village approval of the Engineering Plans, Profiles and Specifications, the Developer shall submit two (2) copies of the final Village approved plans and specifications so that the Village can request approval from the Kenosha Water Utility (KWU).
7. Upon written utility plan approval from the KWU, the Developer shall obtain written approval from the WI DNR.
8. **The Village Public Work's Department will prepare a cost estimate to be included in the developer's Letter of Credit for the inspection**, field staking and contract administration of the required public improvements.
9. Upon Village approval of the Final Engineering Plans and Specifications, Landscaping Plan and Street Lighting Plan (if applicable) the following **shall be submitted to the Village for staff review so that the Development Agreement and the recordable Memorandum can be finalized prior to Village Board consideration (*all documents shall also be submitted as a pdf*)**:
  - a. A copy of the public sanitary sewer and water approval letters from the Kenosha Water Utility, WI DNR, and SEWRPC.
  - b. A copy of all of the signed contracts, certificates of insurance, and performance and payment bonds. **The contracts shall have the Developer's name as shown on the title of the property.** The certificates of insurance shall also list the Village of Pleasant Prairie as an insured party.
  - c. A Policy of Title Commitment equal to the cost of public improvements.
  - d. A copy of the signed public street tree/landscaping contract, five (5) paper copies of the Public Street Tree/Landscaping Plan and certificate of insurance (listing the Village as an insured party).
  - e. Five (5) paper copies of the private Landscaping Plan.
  - f. A copy of the signed We Energies contract and five (5) paper copies of the Street Lighting Plan including a copy of the We Energies electrical distribution system plan, if applicable.
  - g. Erosion Control Permit application, plans and related fee including the required Street Sweeping Cash Deposit.
  - h. Work in the Right-of-Way application, plans and related fee.
  - i. Five (5) paper copies of the Final Engineering Plans, Profiles and Specifications.
  - j. Five (5) paper copies of the Landscaping Plan.
  - k. A "draft" supplemental LOC shall be provided to the Village for staff review. (See comment below related to the LOC.)
10. At least two weeks prior to Village Board consideration of the Final Plat, Development Agreement and related documents the following shall be finalized and submitted:
  - a. The Original Final Condominium Plat, 5 full-size copies and the State DOA approval letter.
  - b. Final Memorandum of Development Agreement (to be drafted by the Village and reviewed by the Developer).
  - c. Final Development Agreement (to be drafted by the Village and reviewed by the Developer).



- d. Recorded Articles of Incorporation for the Condominium Association.
  - e. Final Declaration.
  - f. Final Condominium Association By-Laws.
  - g. Title Report Commitment, updated the day before closing and again within 7 days after closing and recording of the documents.
  - h. Verification of taxes and outstanding special assessments being paid. Any outstanding taxes, special assessments or invoices shall be paid prior to recording the Final Condominium Plat and Memorandum of Development Agreement.
11. A one year minimum Irrevocable Letter of Credit (LOC) to the Village, in the amount of 115% of the total cost of public related improvements, including street trees, street lights, street signs, field staking, inspections and construction related services (including sanitary sewer, and storm sewer cleaning and televising), shall be submitted to the Village. The Itemized Cost Breakdown Exhibit will be prepared by the Village staff to determine the amount of the Letter of Credit and the cash payments. ***IMPORTANT: A draft supplemental Letter of Credit equal to the cost breakdown analysis (need to verify proper format and dollar amount of Letter of Credit prior submitting the Original Letter of Credit.*** The Cash payments and the "Final" LOC shall be provided prior to the Village at the closing.
  12. If any of the condominium units are proposed to be used as a model or marketing office, a Conditional Use Permit application will be required to be submitted for consideration by the Village Plan Commission.
  13. The Final Engineering Plans and Final Condominium Plat shall be submitted to the Village in electronic format which satisfies the following acceptance criteria. If you have any questions contact Matt Fineour, Village Engineer at (262) 925-6778.
  14. Upon Village Board approval of the Final Plat and within seven (7) days of said approval the Village will host a closing to have the Plat(s) and all of the Development Agreement documents signed. The Developer shall be responsible for recording all required documents at the Kenosha County Register of Deeds Office and provide proof of recording to the Village within 72 hours of closing with the Village.
  15. Following the closing, the Developer's engineer shall conduct a pre-construction meeting at the Village Hall with all of the contractors, utilities and Village on-site inspectors (meeting is required prior to public improvement field work commencing). Contact Jean Werbie-Harris to coordinate the pre-con meeting.
  16. This development shall be in compliance with the Village Land Division and Development Control Ordinance, the Village Municipal and Zoning Codes, the Village Construction Site Maintenance and Erosion Control Ordinance and the State of Wisconsin Statutes.
  17. All Village fees incurred by the Village Community Development Department, Village Engineering Department and/or expert legal assistant required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner. Any conflicts between the Village Design Standards and Construction Specifications, Land Division and Development Control Ordinance will required compliance with the Village Design Standards and Construction Specifications.
  18. Impact fees are due at the time building permits are issued. Currently, these fees are \$1,490 per condominium unit.

19. All public and private improvements shall be completed, inspected, and Village approved including having sanitary sewer and storm sewer televised, water sampled with safe samples, roadways completed, electric and gas utilities installed, signage installed and as-built utility and grading plans submitted prior to the issuance of any building permits in accordance with the Development Agreement on file with the Village.

DEV1812-003  
CODE1812-003



**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #19-02  
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
2035 COMPREHENSIVE PLAN**

**WHEREAS**, on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

**WHEREAS**, the 2035 Comprehensive Land Use Plan Map 9.9 sets forth the generalized land use designations of the Village and shall be consistent with other components of the Comprehensive Plan including Neighborhood Plans and the Village Zoning Map; and

**WHEREAS**, Neighborhood Plans serve as a further refinement to the 2035 Comprehensive Land Use Map and identify the location of future lots, building layouts, right-of-way dedications and roadway configurations, environmental restrictions, if any; storm water drainage facilities; internal and external driveway access locations to adjacent roadways, all pursuant to the land uses identified on the 2035 Comprehensive Land Use Plan Map; and

**WHEREAS**, the Village has received a request to amend a portion of the Lakewood Neighborhood Plan at the southeast corner of STH 165 (104<sup>th</sup> Street) and Old Green Bay Road (formerly known as a Vintage Parc Condominium (66 units) located within U.S. Public Land Survey Section 27, Township 1 North, Range 22 East in the Village of Pleasant Prairie, Kenosha County, Wisconsin and further identified as 92-4-122-272-0601 thru 92-4-122-272-0666). Specifically the site is proposed to be re-developed with 6-3 unit and 14-2 unit condominium buildings (46 units) utilizing the same roadway configuration for a development to be known as Green Bay Trail Condominium on **Exhibit A**. While this amendment reflects a 20 unit reduction to the existing Neighborhood Plan and for this site.

**WHEREAS**, on December 14, 2018 the required 30-day notice was published in the Kenosha News and notices were sent to property owners within 300 feet of the proposed Neighborhood Plan area regarding public hearing being held by the Village Plan Commission on January 14, 2019.

**NOW THEREFORE, BE IT RESOLVED**, that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby recommends approval to amend a portion of the Lakewood Neighborhood Plan, a component of Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan as presented at the January 14, 2018 public hearing and shown and described in **Exhibit A**.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said Amendment, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

**Adopted this 14<sup>th</sup> day of January 2019.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
James Bandura  
Plan Commission Secretary

\_\_\_\_\_  
Michael J. Serpe  
Plan Commission Chairman

Date Posted: \_\_\_\_\_

***Neighborhood Plan 14 of Appendix 9-3***  
***Lakewood Neighborhood***

A Neighborhood Plan for Lakewood Neighborhood was prepared and adopted by the Plan Commission on September 12, 2005 by Resolution #05-13 and the Village Board adopted a resolution of support for this Plan on September 19, 2005 by Resolution #05-52. The Plan Commission and the Village Board approved the Plan except for the multi-family area located east of Old Green Bay Road between 104<sup>th</sup> and 107<sup>th</sup> Streets and recommended staff re-evaluate this area. The area was re-evaluated and this generally located at the southeast corner of STH 165 and Old Green Bay Road was approved by the Plan Commission on March 27, 2006 by Resolution #06-07 and the Village Board adopted a Resolution of support for this amendment on April 3, 2006 by Resolution #06-17. This area at the southeast corner of STH 165 and Old Green Bay Road is being amended to reflect a new residential condominium development plan and a reduction of 20 units as approved by Plan Commission on January 14, 2009 by Resolution #19-02 and the Village Board adopted Ord. #19-\_\_ on \_\_\_\_\_, 2019.

The Lakewood Neighborhood is bounded by STH 31 (Green Bay Road on the west), STH 165 on the north and Springbrook Road (CTH ML) on the southeast. The Lakewood Neighborhood Plan includes:

**COMMERCIAL AREAS:** Approximately 26.9 acres of land within the Neighborhood is identified as commercial—this Community Commercial area is located south of STH 165 between Old Green Bay Road and STH 31. The Plan indicates that the only proposed commercial access to the area would be from STH 31 across from 108<sup>th</sup> Street, there would be no access on STH 165 and there would be two access points from Old Green Bay Road—one at 107<sup>th</sup> Street and one at approximately 105<sup>th</sup> Street. Access to STH 31 requires approval from the Wisconsin Department of Transportation and would require approval of a Traffic Impact Study (TIA). See additional comments below in the section entitled, “Access to Arterial Roads”. In addition, this area includes a number of existing homes which would need to be acquired prior to commercial development of this area.

**RESIDENTIAL AREA:** Approximately 570.6 acres of land (excluding existing and future rights-of-way, commercial, wetlands and floodplain) within the Neighborhood are proposed to be developed as Residential. There are 297 existing single family lots within the Neighborhood and these existing residential developments in the Neighborhood include: Springbrook Meadows; residential development along STH 165, Springbrook Road, 116<sup>th</sup> Street and Old Green Bay Road; residential development on 61<sup>st</sup> Avenue north of 116<sup>th</sup> Street and residential development on 107<sup>th</sup>, 109<sup>th</sup> and 110<sup>th</sup> east of Old Green Bay Road. The Neighborhood Plan proposes an additional 299 single family units and 68 multi-family units. The additional multi-family units includes 17-4 unit condominium buildings proposed to be located south of STH 165 east of Old Green Bay Road.

In accordance with the Village 2010 Comprehensive Plan, the overall net density for the Neighborhood recommends that the Neighborhood be developed within the Lower-Medium Residential land use category with the average lot area per dwelling unit falling within the range of 12,000 square feet to 18,999 square feet per dwelling unit. This allows for areas of the neighborhood to have larger lots while some areas have smaller lots. The net density of the neighborhood as shown on Plan is 37,438 square feet per dwelling unit (570.6 net residential acres multiplied by 43,560 square feet in an area divided by 664 dwelling units). This density is in compliance with the Village Comprehensive Plan.

The changes in the Lakewood Neighborhood Plan pursuant to Plan Commission Resolution 06-07 and Village Board Resolution 06-17 generally affect the condominium unit and single family lot configuration south of STH 165 and east of Old Green Bay Road as specifically described below.

- The location of the proposed 65<sup>th</sup> Avenue (running north and south from STH 165 and to 107<sup>th</sup> Street) has shifted slightly east as it connects to 107<sup>th</sup> Street as a result of adjustments made to the condominium area at the corner and to accommodate setbacks



to current property lines.

- Minor reconfiguration of the single family lots as a result of 65<sup>th</sup> Avenue being altered was made.
- The reconfiguration of the condominium area has changed slightly from 68 units to 76 units. The previous plan indicated 17-4 unit buildings. The new plan proposes 3-6 unit buildings, 14-4 unit buildings and 1-2 unit building. The six unit buildings are located adjacent to future commercial to the west and northwest; and 8-unit condominium buildings west of 65<sup>th</sup> Avenue and north of STH 165 (pursuant to the 2006 amendment).
- The reconfiguration of the condominium area pursuant to the 2019 amendment would reduce the number of units in this area from 76 units to 56 units. The new plan proposes 6-3 unit and 14-2 unit condominium buildings (46 units) on the property at the corner and the 10 proposed condominium units to the east of the Green Bay Trail condominium development will remain unchanged.

**URBAN RESERVE AREA:** Most of the undeveloped areas located within this Neighborhood are located within an Urban Reserve Area, as defined by the 2010 Village Comprehensive Plan, indicates that the properties are not likely to be developed until after 2010 because of the lack of the availability of urban services. All new developments will require urban services, including but not limited to municipal sanitary sewer, municipal water, urban roadways with curb and gutter and storm sewers. If the property owners wish to develop their land within the reserve area prior to 2010, then the 2010 Comprehensive Plan shall be amended to remove the reserve designation and urban service would need to be brought to the area.

**OPEN SPACE:** This Neighborhood Plan identifies approximately **52 acres** or 6% of the lands within the neighborhood to remain as open space. This open space includes approximately 11.4 acres of floodplain and 40 acres of wetlands. (This open space does not include additional open space for retention facilities as required for any development.)

- **FLOODPLAIN AREAS:** The Neighborhood Plan identifies approximately 11.4 acres of land within the 100-year floodplain generally located at 61<sup>st</sup> Avenue and Springbrook Road north of 116<sup>th</sup> Street. Prior to consideration of any proposed Conceptual Plans, floodplains within the neighborhood area shall be field verified in accordance with the Village floodplain maps and ordinance regulations. Development in the floodplain is restricted to open spaces that do not interrupt the natural flow of the water. Any development that constricts the flow of water or significantly reduces floodplain storage volumes may create upstream and/or downstream flooding problems or reduce the capacity of the floodplain to store water. In some instances property can be removed from the floodplain provided proper approval is obtained from the Village and several other agencies including the Wisconsin Department of Natural Resources (DNR) and the Federal Emergency Management Agency (FEMA). Any area removed from the floodplain through the placement of fill must be contiguous to (next to) land lying outside the floodplain. In addition, the volume of floodplain removal must be created in the vicinity of the filled area on a one-to-one basis. The land that is removed from the floodplain must be filled to an elevation at least two (2) feet above the elevation of the 100-year regional flood elevation.
- **WETLAND AREAS:** The Neighborhood Plan identifies approximately 40 acres of land within wetlands. Prior to consideration of any proposed Conceptual Plans, wetlands shall be field verified by a certified biologist in accordance with the Village wetland regulations. Some of the wetlands within the undeveloped area have been field verified. Upon field verification of wetlands the plan may need to be altered in order to preserve the wetlands.

**RETENTION AREAS:** The Neighborhood Plan indicates areas within existing retention facilities and proposed areas for future storm water management facilities. At the time that any Conceptual Plans are to be considered for any portion of the **Neighborhood, the developer's** engineer will be required to evaluate the development site, based on actual field conditions and shall present a storm water management facility plan which meets the Village requirements.

**ACCESS TO ARTERIAL ROADS:** The Department of Transportation (WisDOT) is preparing a Corridor Study of STH 165 from STH 31 to STH 32. This study upon its completion will indicate the amount of right-of-way needed for future expansion and the restricted roadway access to STH 165. The access shown to STH 165 is based on the best available information known at this time.

Prior to any development adjacent to STH 165, the WisDOT may require a TIA to be completed and the Village may require the developer to provide funds to the Village for the future improvements to STH 165. The Neighborhood Plan indicates a new roadway at 65<sup>th</sup> Avenue, 60<sup>th</sup> Avenue and 57<sup>th</sup> Avenue with 59<sup>th</sup> Avenue terminating in a cul-de-sac. Four (4) new street access points to Springbrook Road, two new access points to 116<sup>th</sup> Street and two new access points to Old Green Bay Road as shown. At the time that any portion of the Neighborhood is proposed to be developed, proper access will be required to adequately service the proposed development. In addition, the long-range transportation plan indicates that STH 165, Springbrook Road (CTH ML), Old Green Bay Road and 116<sup>th</sup> Street should be improved or widened when traffic counts/new developments warrant such improvements.

**POPULATION PROJECTIONS FOR THE NEIGHBORHOOD:** The vacant portion of this neighborhood will not develop until the current property owners wish to develop their land; which makes neighborhood planning essential for the orderly growth of the community and establishes a framework as to how development should occur and, if and when it occurs. The neighborhood plan is a guide for property owners and developers—therefore the population will increase on an incremental basis as the neighborhood develops over time. Based on the 2000 Census information for the Village of Pleasant Prairie, the average number of persons per household is 2.73 and school age children between the ages of 5 and 19 make up 23% of the population.

**Current population** within the neighborhood:

- 297 dwelling units--assumes that each existing lot has an occupied dwelling unit
- 811 persons (which includes 186 school age children)

**Projected populations** within the neighborhood based on the total number of households proposed for this neighborhood when fully developed:

- 664 dwelling units
- 1,813 persons (which includes 417 school age children)

The Village provides copies of proposed developments to the Kenosha Unified School District to assist in their planning. A KUSD Master Plan is being prepared by KUSD staff to be completed this spring, which is to address growth in the District. Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie (.42 x number of dwelling units), a total of 279 public school age children are likely to come from this Neighborhood.

The changes in the Lakewood Neighborhood Plan pursuant to Plan Commission Resolution 06-07 and Village Board Resolution 06-17 provide for a slight increase in the residential units within the entire Lakewood Neighborhood from 664 dwelling units to 672 units, thus adjusting the net density from 37,438 square feet per dwelling unit to 36,987 square feet per dwelling unit (570.6 net residential acres multiplied by 43,560 square feet in an area divided by 672 dwelling units). This density is in compliance with the Village Comprehensive Plan which provides that the overall net density for the Lakewood Neighborhood be developed within the Low Residential land use category with the average lot area per dwelling unit shall be 19,000 square feet or more per dwelling unit. Based on the 2000 Census information for the Village of Pleasant Prairie, the average number of persons per household is 2.73 and school age children between the ages of 5 and 19 make up 23% of the population. Therefore, this amendment would provide for a slight increase in the projected population and the number of school age children at full building out for the entire Lakewood Neighborhood.

- 672 dwelling units (an increase from 664 dwelling units)
- 1,835 persons including 422 school age children (an increase from 1,813 persons including 417 school age children)



Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie (.42 x number of dwelling units), the total number of public school age children that are likely to come from this entire neighborhood would increase from 279 public school age children to 282 public school age children.

The changes in the Lakewood Neighborhood Plan pursuant to Plan Commission Resolution #19-02 and Ord. #19-\_\_\_ provide for a slight decrease in the residential units within the entire Lakewood Neighborhood from 672 dwelling units to 652 units, thus adjusting the net density from 36,987 square feet per dwelling unit to 38,122 square feet per dwelling unit (570.6 net residential acres multiplied by 43,560 square feet in an area divided by 652 dwelling units). This density is in compliance with the Village Comprehensive Plan which provides that the overall net density for the Lakewood Neighborhood be developed within the Low Residential land use category with the average lot area per dwelling unit shall be 19,000 square feet or more per dwelling unit.

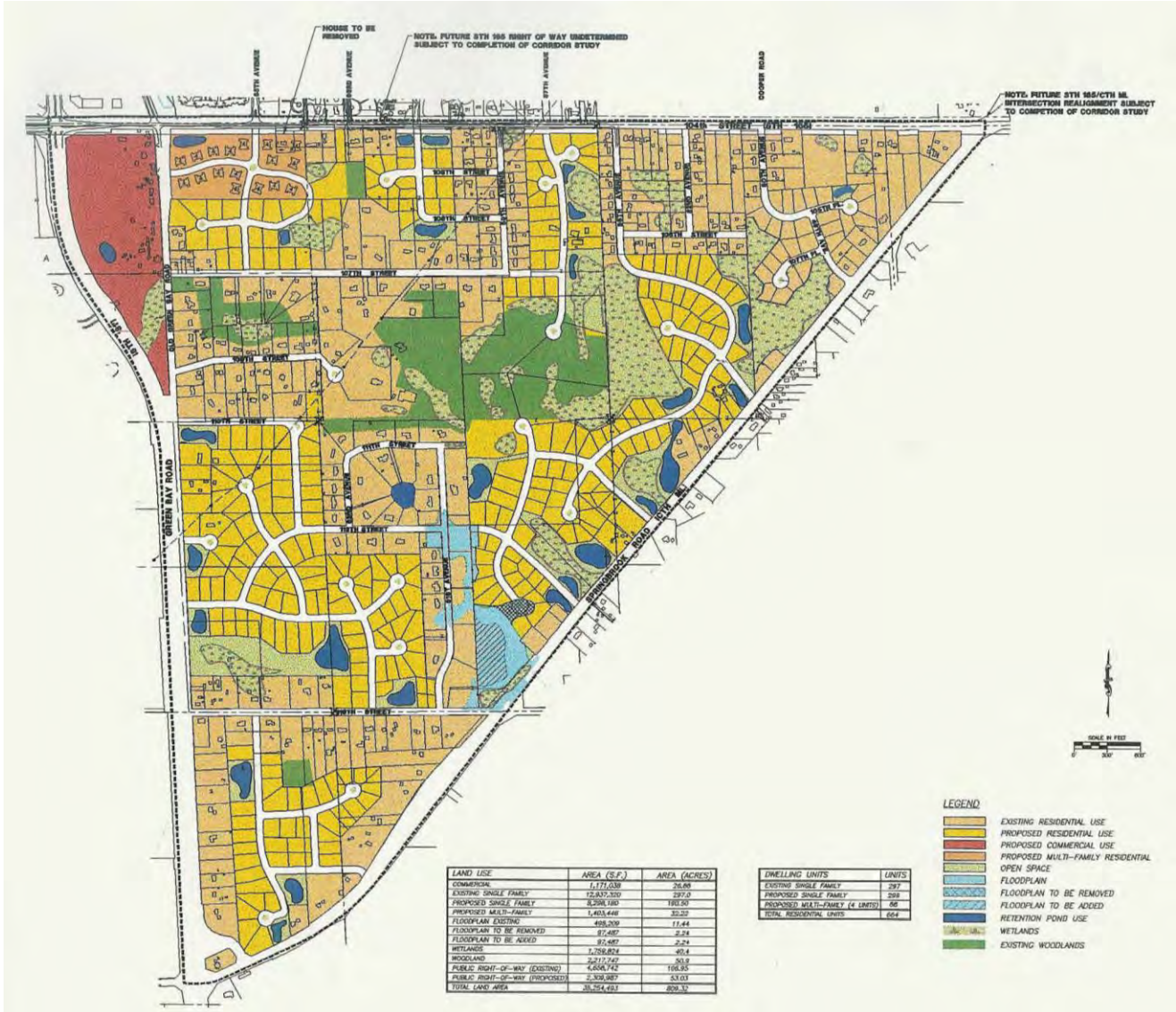
This amendment would provide decreases in the projected population and the number of school age children at full build out for the entire Lakewood Neighborhood.

- 652 dwelling units (a decrease from 672 dwelling units)
- 1,748 persons including 488 school age children (274 public school age)

[**Note:** Based on the 2010 Census information for the Village of Pleasant Prairie the average number of persons per household is 2.68 (a decrease from 2.73 in 2000) and the average number of person per rental housing is 2.34 and school age children between the ages of 5 and 19 make up 27.9% of the population (an increase from 23% in 2000). Pursuant to the information provided by the Kenosha Unified School District for Pleasant Prairie the number of students that will attend public school is 42% of the number of dwelling units.]

# **Neighborhood Plan Map 14** **Lakewood Neighborhood**

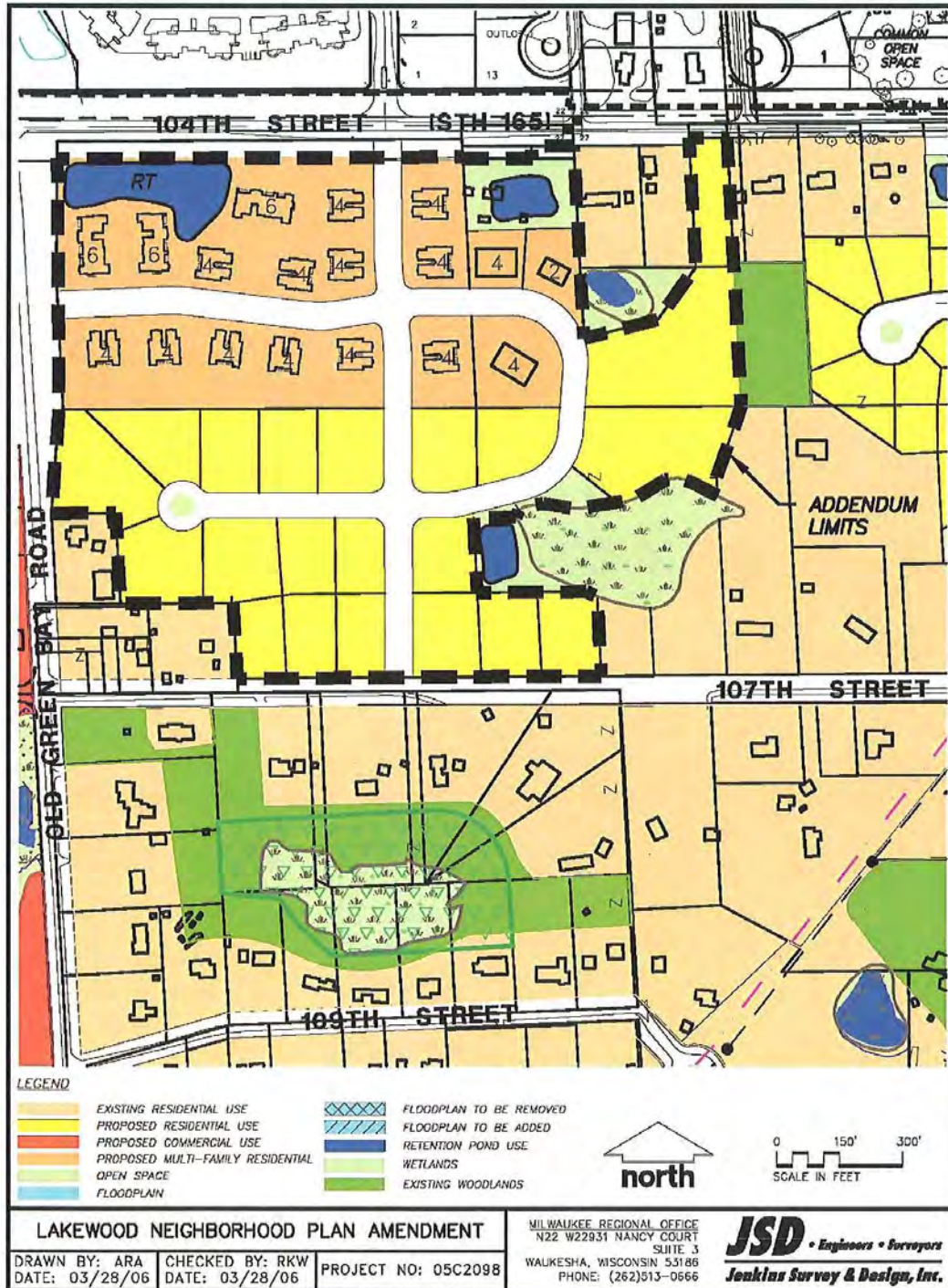
**Adopted by Plan Commission Resolution #05-13 and Village Board Resolution #05-52**





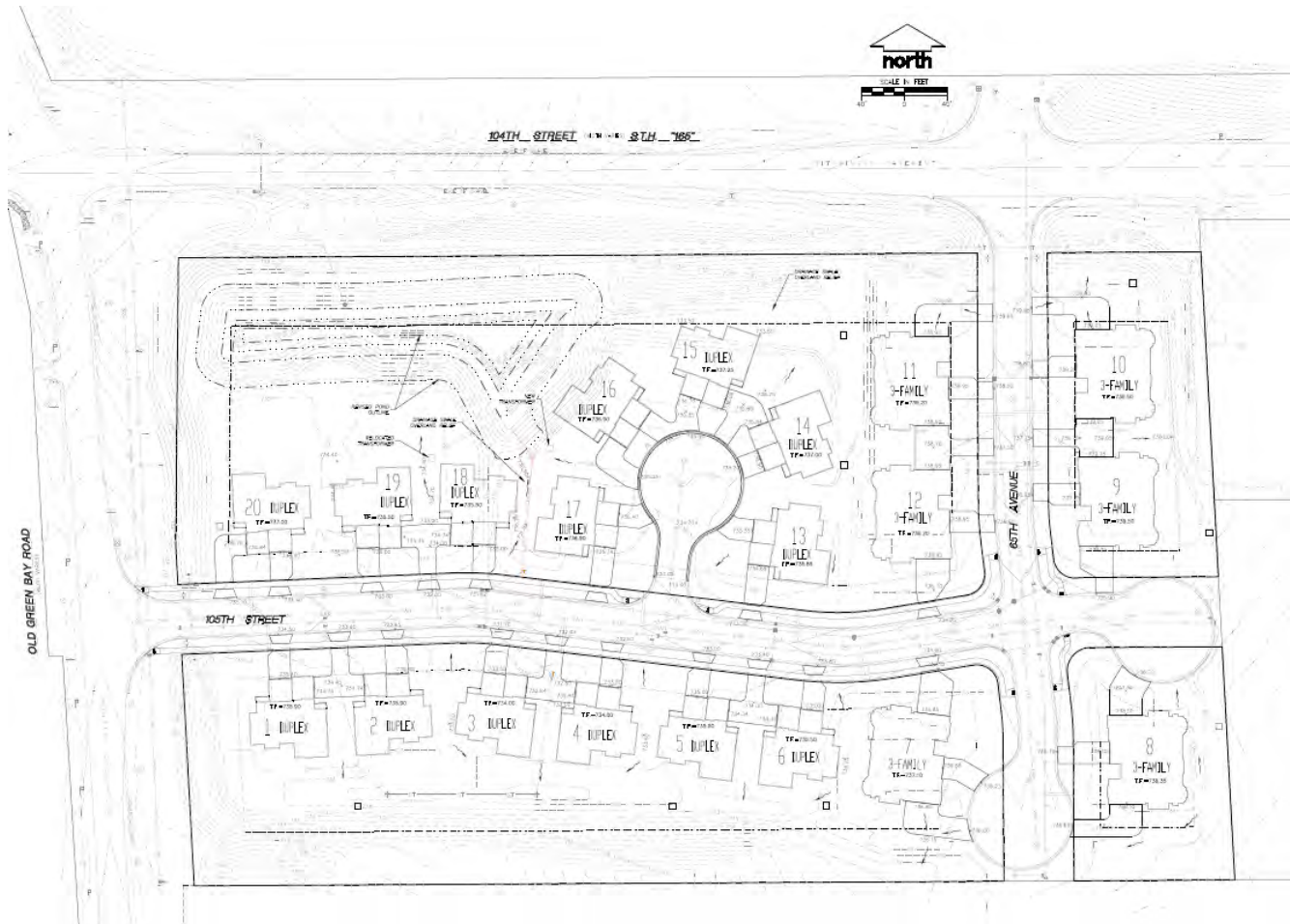
**Neighborhood Plan Map 14  
Lakewood Neighborhood**

**Amendment adopted by Plan Commission Resolution #06-07 and Village Board  
Resolution #60-17**



**Neighborhood Plan Map 14**  
**Lakewood Neighborhood**

**Amendment adopted by Plan Commission Resolution #19-02 on January 14, 2019 and by the Village Board on \_\_\_\_\_ as Ord. # 19-\_\_.**





# Governing Agency Contacts

## **PLEASANT PRAIRIE VILLAGE HALL**

9915 39TH STREET  
PLEASANT PRAIRIE, WI 53158  
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## **PUBLIC WORKS DEPARTMENT**

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## **BUILDING INSPECTION DEPARTMENT**

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BUILDING INSPECTION SUPERINTENDENT  
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## **FIRE & RESCUE DEPARTMENT**

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CHIEF OF FIRE & RESCUE  
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ASSISTANT FIRE CHIEF  
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## **Public Utility Contacts**

### **AMERICAN TRANSMISSION COMPANY**

BRIAN MCGEE  
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EMAIL: [bmcgee@atcllc.com](mailto:bmcgee@atcllc.com)  
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### **WISCONSIN DOT**

ART BAUMANN  
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**AT&T**

MIKE TOYEK  
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EMAIL: [mt1734@att.com](mailto:mt1734@att.com)

**TDS TELECOM**

SOUTHEAST WISCONSIN  
OFFICE: (877) 483-7142

**TIME WARNER CABLE/SPECTRUM**

STEVE CRAMER  
UTILITY COORDINATOR  
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NATURAL GAS EMERGENCY: (800) 261-5325

ELECTRICAL EMERGENCY: (800) 662-4797

# WI Department Of Natural Resources

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PETER WOOD, P.E.  
WATER RESOURCES ENGINEER  
OFFICE: (262) 884-2360  
EMAIL: [peter.wood@wisconsin.gov](mailto:peter.wood@wisconsin.gov)





# MEMORANDUM

Office of the Village Engineer  
Matthew J. Fineour, P.E.

TO: Peggy Herrick, Assistant Planner / Zoning Administrator

FROM: Matthew Fineour, P.E., Village Engineer

SUBJ: Green Bay Trail Condominiums – Conceptual Plan

DATE: January 9, 2019

---

Peggy,

The Engineering Department has reviewed the concept plans for the above referenced project. Based on our review, we have the following comments listed below and as noted on the attached plan mark-up sheets. Refer to both this memo and the plan mark-up sheets for all engineering comments. This review is cursory based on the conceptual information provided. Additional comments will be provided as the plans are refined and detailed plans are submitted.

**See comments on attached mark-up plan sheets.**

1. Only plan sheets with comments are included.
2. Comments that apply to multiple locations are not repeated for every occurrence

**Site Plan**

1. Eliminate the curves in the sidewalk at the private drive (cul-de-sac) crossing.
2. Show the potential future road extensions for 65<sup>th</sup> Avenue and 105<sup>th</sup> Street at the temporary cul-de-sacs.
3. A street section plan shall be developed addressing the locations of existing utilities and placement of new sidewalks, street trees, water service valves, and any other new utility service within the right-of-way. Additional right-of-way and/or easements shall be provided as may be applicable to accommodate all the improvement locations.
4. The private cul-de-sac will need to be owned and maintained by the condominium association, including snow plowing.
5. Pavement Legend: The existing asphalt binder on the public roadways will need to be removed and replaced prior to the final asphalt surface.
6. The following comments pertain the proposed sidewalks:
  - a. Extend sidewalk along Old Green Bay Road from 105<sup>th</sup> Street to STH 165. The design of this segment will need to be coordinated with the Bear Reality, the Developer of Main Street Market, and the planned Old Green Bay Road / STH 165 roadway improvements.
  - b. Extend the sidewalks on both sides of 65<sup>th</sup> Avenue to STH 165. Also, extend the sidewalks south to the temporary cul-de-sac.

- c. Either extend an internal private sidewalk along STH 165 or the Developer shall be contribute the cost for a future sidewalk within the STH 165 right-of-way, as estimated by the Village.

### **Overall Grading**

7. No comments based on the conceptual information provided. A detailed review will be completed when civil engineering plans are submitted.
8. Pond storage information will need to be provided for the proposed reconfiguration.

### **Overall Utility Plan**

9. List the size(s) of the existing sewer and water laterals.
10. Existing and proposed sump pump lateral information shall be provided. Sump laterals shall be provided for each building.
11. The following questions and comments pertain to planned utility configuration, customer, and ownership responsibilities for the sewer and water laterals. The Village Water Utility must be able to valve off each lateral separately so as to not affect service to another independent customer.
  - a. The duplexes shall be serviced with a lateral / meter to each unit. Where possible, the existing lateral can be branched with individual service valves for each unit. A detail of the service modification package shall be provided for review.
  - b. It is our understanding that each unit within the 3-family will be individually owned. Each unit will require a separate lateral, service valve, and meter. Further information regarding how the existing lateral will be utilized / branched and or new laterals shall be provided for review.
  - c. Identify who is responsible for the maintenance of the sewer, water, and sump laterals outside and within the buildings and specifically clarify in the Condominium Declarations. The current document seems to exempt service laterals from as a Common Element.
12. Plan and profile sheets will need to be provided for the proposed public sanitary sewer and water main extensions. Applicable approvals from Kenosha Water Utility and WDNR will need to be obtained after Village approval of the plans.

### **Public Roadway, Sanitary Sewer, Water, and Storm Sewer**

1. The subdivision roadways and public infrastructure were never completed or accepted by the Village. The roadway section as original designed is 5-inches of asphalt (3.5" binder course; 1.5" surface course) on 12-inch aggregate base. The roadways are currently built to binder course. This section does not meet the Village's current standards, which includes 7-inches of concrete with a 1.75" asphalt surface course. The development may proceed with the original section design, however, the existing binder will need to be removed and replaced prior to final paving of the surface course.
2. The existing binder shall be used for a construction surface until the condominiums are completed and the roadway is ready for final paving. Developer shall submit information about the order of building construction for further review of final paving timing.
3. The condition of the existing roadway, water, sanitary, and storm sewer infrastructure within the development must be reviewed by the Public Works Department to determine if any repairs or



deficiencies will need be completed. This will include televising the sanitary sewer and storm sewers and a field review. The Developer shall pay the costs of the televising and inspections along with completing any repairs or deficiencies.

4. Any existing utility laterals (sanitary, water, storm) not utilized are required to be abandoned and plugged at the main.
5. Street trees shall be located within the public right-of-way meeting Village spacing and species standards. Per previous comment, a street section shall be provided regarding placement of trees and other infrastructure in the right-of-way.
6. The pond is required to have an aerator or fountain installed.
7. All existing fire hydrants shall be field modified to provide a storz pumper nozzle.

#### **Other / Miscellaneous**

8. Development improvements shall meet design and construction standards set forth in Chapter 405 of the Village Ordinance. Chapter 405 – Design Standards and Construction Specification can be obtained on the Village website, under the engineering department page.
9. Upon approval of the conceptual plan, detailed civil improvement plans will need to be submitted for review including:
  - a. Grading and erosion control plans.
  - b. Site utility plans including modifications and additional improvements.
  - c. Roadway improvement plans.
  - d. Landscape and street tree plans.
  - e. Project construction and specification manual for all the public improvements.
10. The civil plans and project manual shall detail the completion of the roadway construction. This includes items such as binder removal, manhole and valve adjustments, storm inlet adjustments, etc.

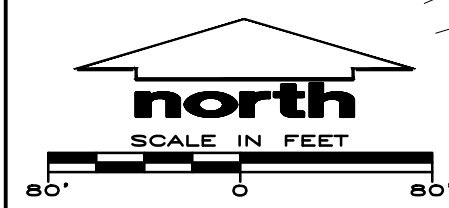
The conceptual plans have been reviewed for conformance with generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date and as additional information is provided.

\*\*\*

C0.0	TITLE SHEET
SITE CIVIL	
C1.0	OVERALL PAVEMENT ID AND DIMENSION PLAN
C2.0	OVERALL GRADING PLAN
C3.0	OVERALL UTILITY PLAN
CUSTOM DUPLEX BUILDING	
1 OF 4	BUILDING ELEVATION PLAN
2 OF 4	BUILDING ELEVATION PLAN
3 OF 4	BUILDING FOUNDATION PLAN
4 OF 4	BUILDING FIRST FLOOR PLAN
3-FAMILY CONDO BUILDING	
1 OF 5	BUILDING ELEVATION PLAN
2 OF 5	BUILDING ELEVATION PLAN
3 OF 5	BUILDING FOUNDATION PLAN
4 OF 5	BUILDING FIRST FLOOR PLAN
5 OF 5	BUILDING SECOND FLOOR PLAN

**VOPP ENG REVIEW  
PLAN MARK UP  
JANUARY 9, 2019**

TOTAL LOT AREAS: 475,785 SF  
NO. OF UNITS: 46 UNITS



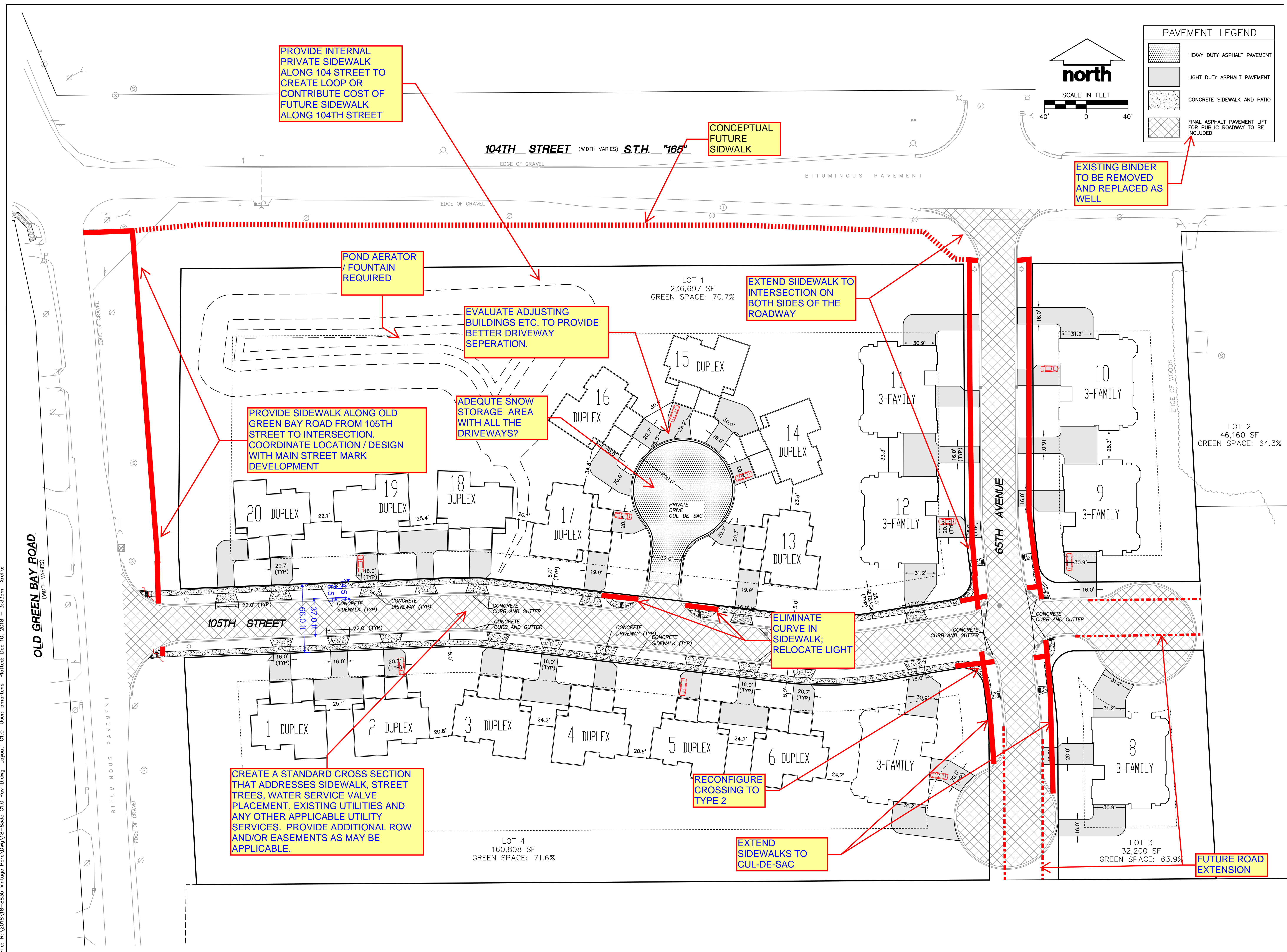
**CIVIL ENGINEER**  
JSD PROFESSIONAL SERVICES, INC.  
W238 N1610 BUSSE RD, SUITE 100  
WAUKESHA, WI 53188  
PHONE: 262-513-0666  
FAX: 262-513-1232  
RIZAL ISKANDARSJACH, P.E., P.L.S.  
EMAIL: riz@jsdinc.com

***C0.0***

JSD PROJECT NO: 18-8835

File: R:\2018\18-8835 Vintage Parc\Dwg\18-8335 Cover Conceptual Plan.dwg Layout: C2.0 User: riskandarsjach Plotted: Dec 10, 2018 - 3:36pm Xref's:



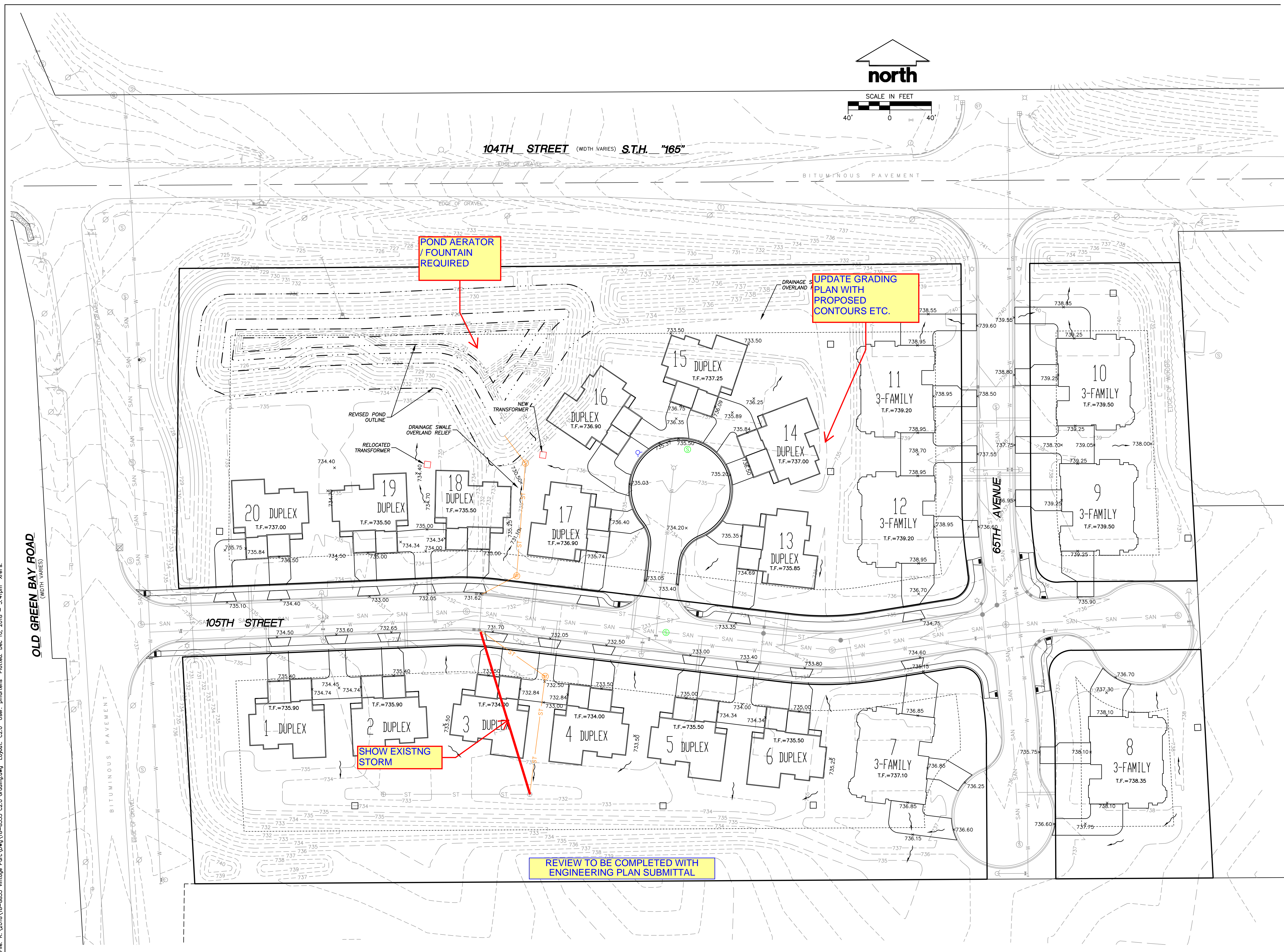


PAVEMENT LEGEND



**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners





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**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
**P. 262.513.0666**



## PROJECT: GREEN BAY TRAIL CONDOMINIUMS



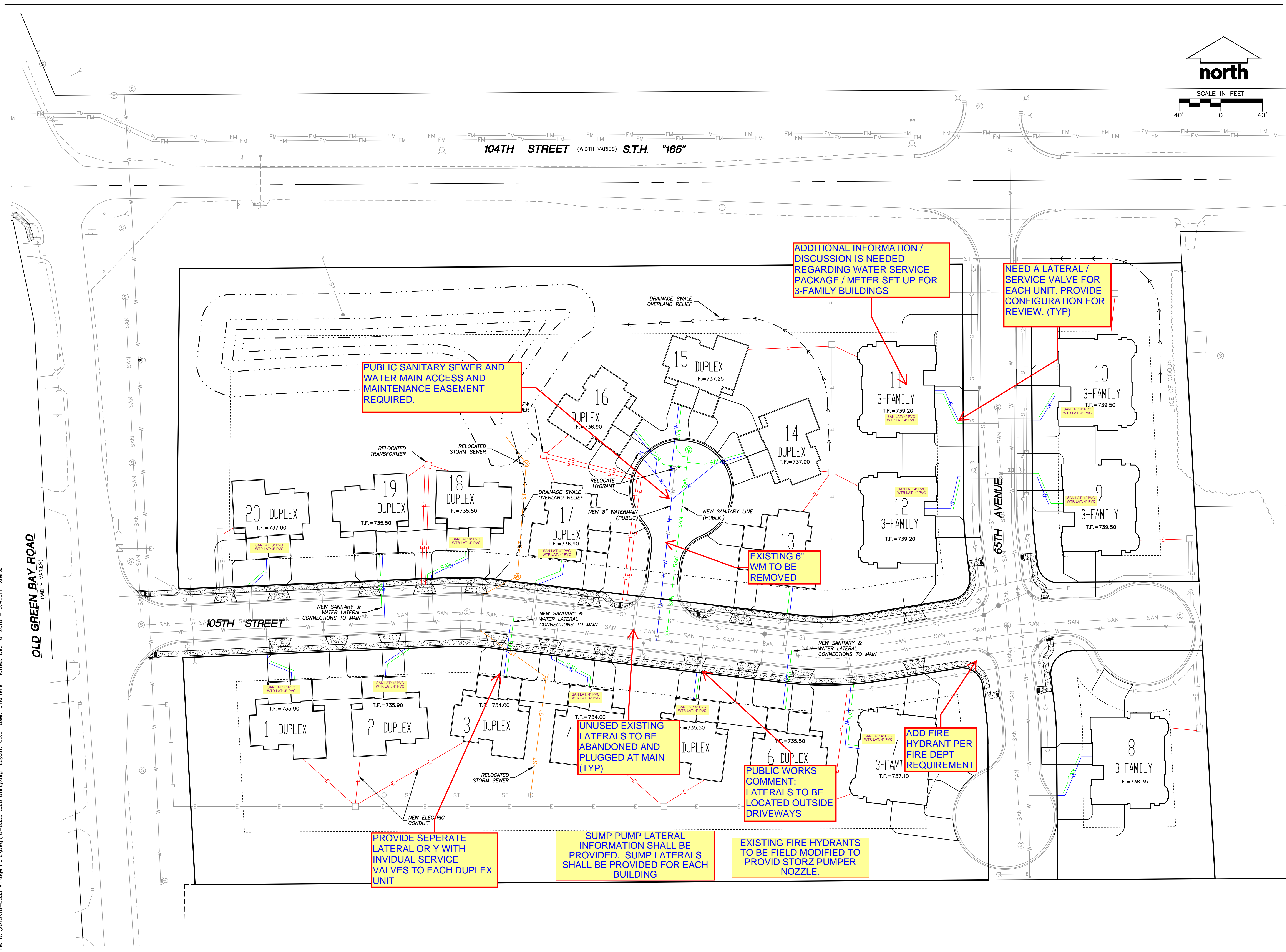
PLAN MODIFICATIONS:

[illegible]

## OVERALL GRADING PLAN

## C2.0





**JSD**  
Professional Services, Inc.  
Engineers • Surveyors • Planners

MADISON | MILWAUKEE  
KENOSHA | APPLETON | WAUSAU

CLIENT:

CLIENT ADDRESS:  
501 75TH STREET, SUITE H  
MENOSHA, WI 53142

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN

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Hearing Impaired TDD (800) 542-2289  
**[www.DiggersHotline.com](http://www.DiggersHotline.com)**

Design/Drawn:	PSM
Approved:	RWI
CONCEPTUAL PLAN SUBMITTAL	12-10-18
SHEET TITLE:	
<b>OVERALL UTILITY PLAN</b>	





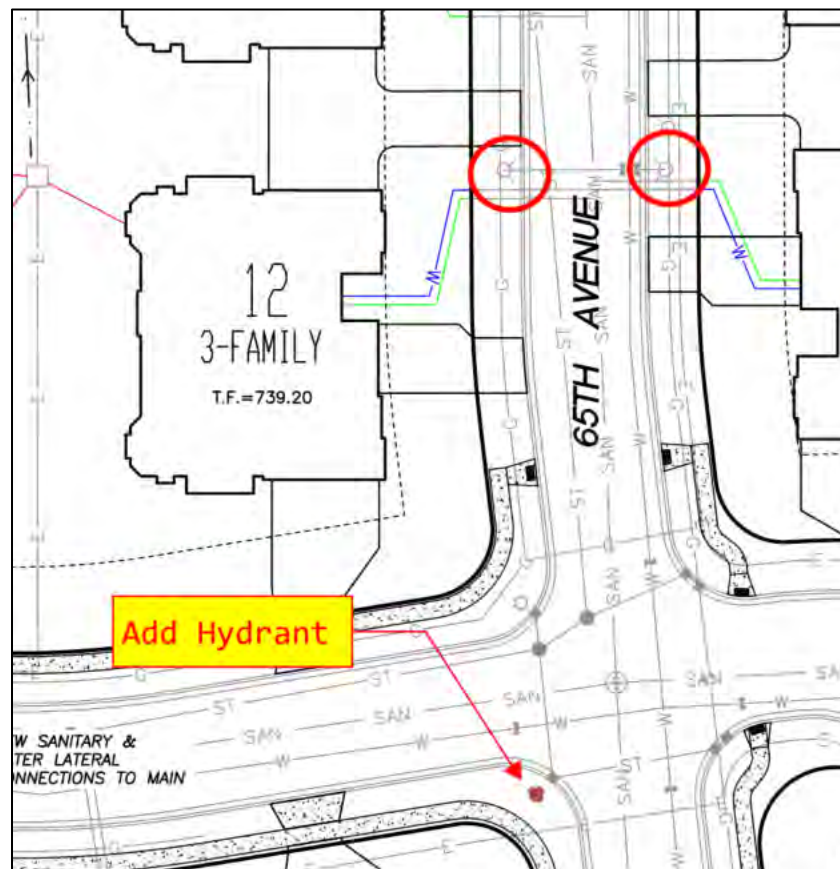
## VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director  
FROM: Craig Roepke, Chief Fire & Rescue  
CC: Peggy Herrick, Assistant Planner, Community Development  
SUBJECT: Conceptual plan for Green Bay Trail Condos  
Trakit/Permit#: DEV1812-003  
DATE: December 13, 2018

These are initial comments for the Conceptual Plan received for the Green Bay Trail Condos project

The Fire & Rescue Department have the following comments regarding the above project.

1. See attached markup – Add or relocate hydrant to SW corner as shown. May utilize a hydrant from either dual set of hydrants (hydrants across from each other) located in project.
2. Refit all hydrants on project area to the Storz pumper nozzle, replacing the existing 4-1/2" Kenosha standard thread. This is a field changeable operation.





\*\*\*R-21 SPRAY FOAM JOIST ENDS\*\*

\*\*\*ALLIANCE SINGLE-HUNG WINDOWS\*\*  
\*DRYWALL RETURNS W/ WOOD SILLS\*

\*\*\*HOUSEWRAP ENTIRE BUILDING\*\*

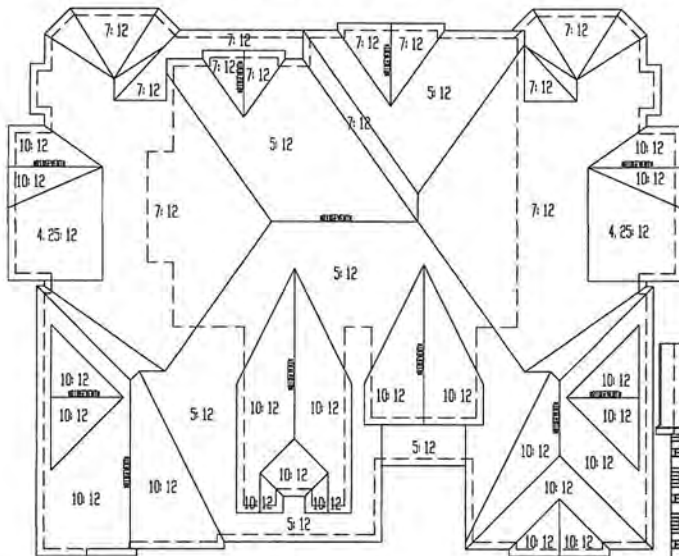
\*\*\*R-50 BLOW-IN ATTIC INSULATION\*\*

\*\*\*9' HIGH WALLS- UNLESS NOTED\*\*

\*\*\*CONTINUOUS RIDGE VENT (PER PLAN)\*\*

\*\*\*ARCHITECTURAL ROOF W/ CLOSED VALLEYS\*\*

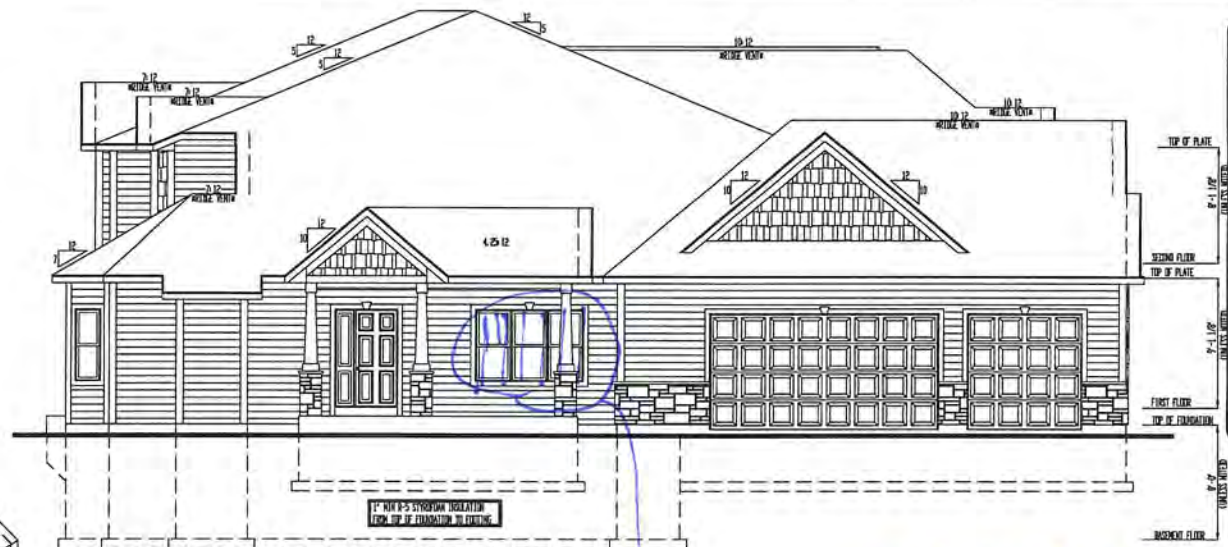
\*\*\*ICE & WATER BARRIER IN ALL VALLEYS,  
EAVES AND ROOF TO WALL AREAS\*\*



ROOF NOTES:  
-ROOF TO BE COMPOSED OF PRE-ENGINEERED  
TRUSSES @ 24" O.C.  
-ALL TRUSS CLIPS AND HANGERS TO BE SUPPLIED  
BY TRUSS MANUFACTURER.  
-ALL CLIPS AND HANGERS TO MEET OR EXCEED  
REQUIREMENTS OF THE WISCONSIN U.D.C.

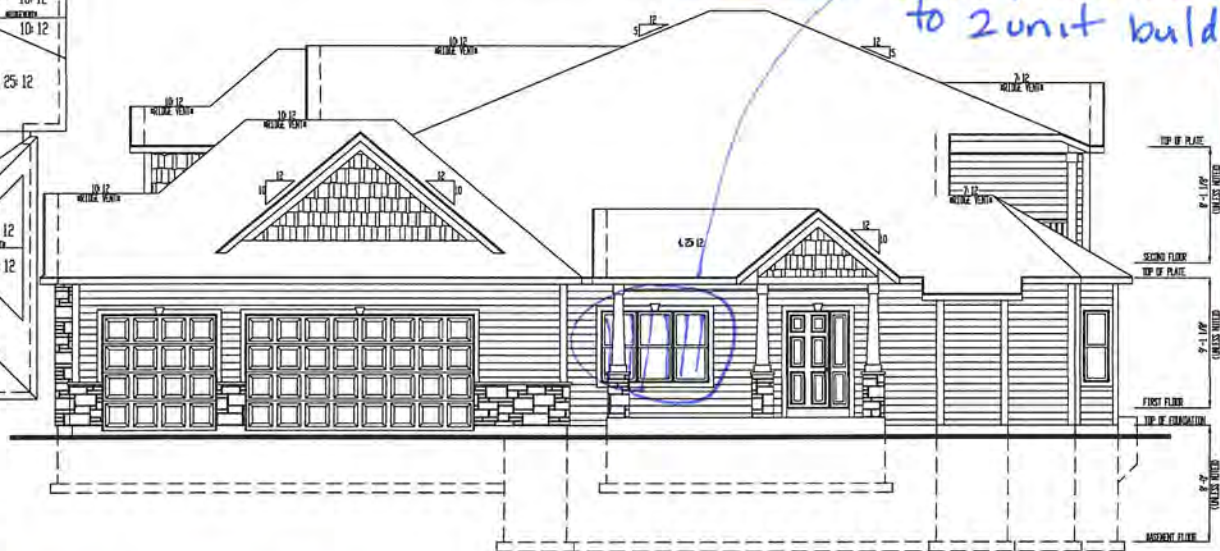
ROOF PLAN

SCALE: 1/8"=1'-0"



LEFT ELEVATION  
SCALE: 1/4"=1'-0"

add window  
detail similar  
to 2 unit building



RIGHT ELEVATION  
SCALE: 1/4"=1'-0"

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Kenosha, WI 53142  
O: 262-694-1677  
www.HarpeDevelopment.com

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P. A. 2  
DATE: 11/11/11  
SCALE: 1/4"=1'-0"

\* Show location of building  
addresses numbers on all  
building facades (above front door?)

\* Show any building  
lighting

**\*\*R-21 SPRAY FOAM JOIST ENDS\*\***

**\*\*ALLIANCE SINGLE-HUNG WINDOWS\*\***  
 EXTERIOR WALL RETURNS W/ WOOD SILLS

**\*\*HOUSEWRAP ENTIRE BUILDING\*\***

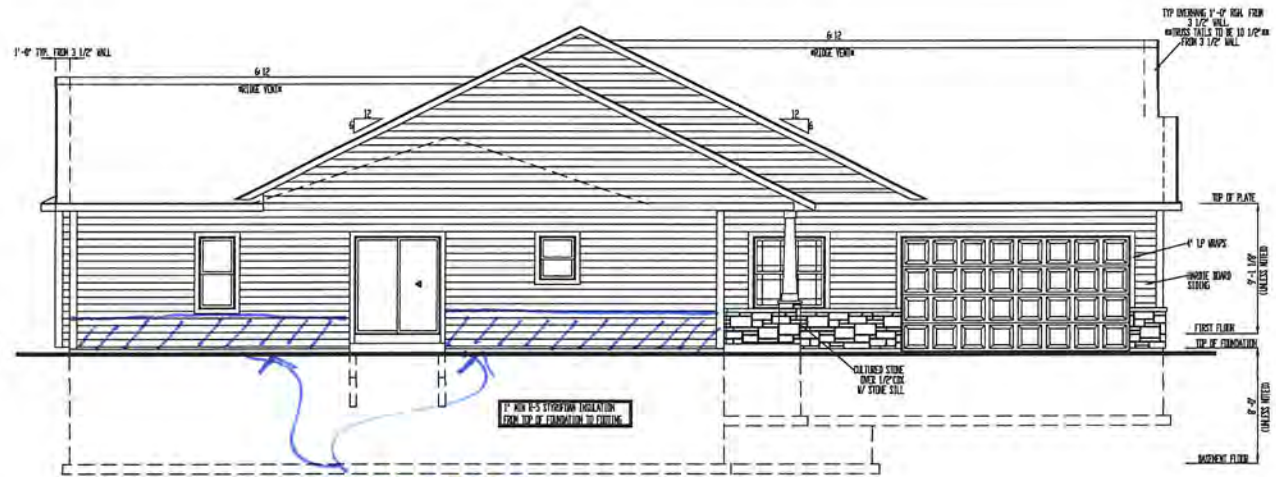
**\*\*R-50 BLOWN-IN ATTIC INSULATION\*\***

**\*\*9' HIGH WALLS- UNLESS NOTED\*\***

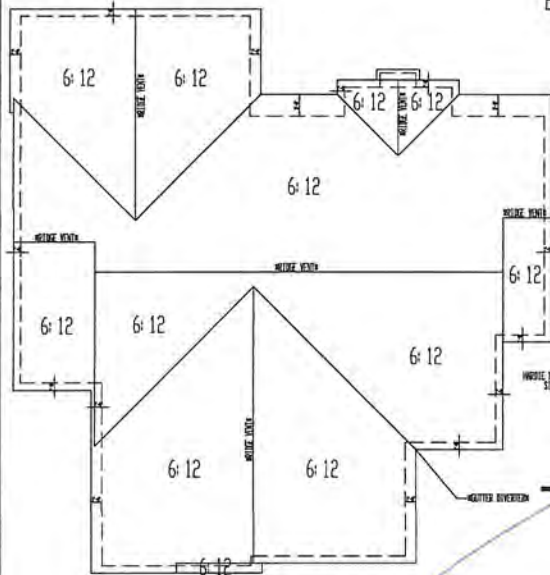
**\*\*CONTINUOUS RIDGE VENT (PER PLAN)\*\***

**\*\*ARCHITECTURAL ROOF W/ METAL VALLEYS\*\***

**\*\*ICE & WATER BARRIER IN ALL VALLEYS,  
 EAVES AND ROOF TO WALL AREAS\*\***

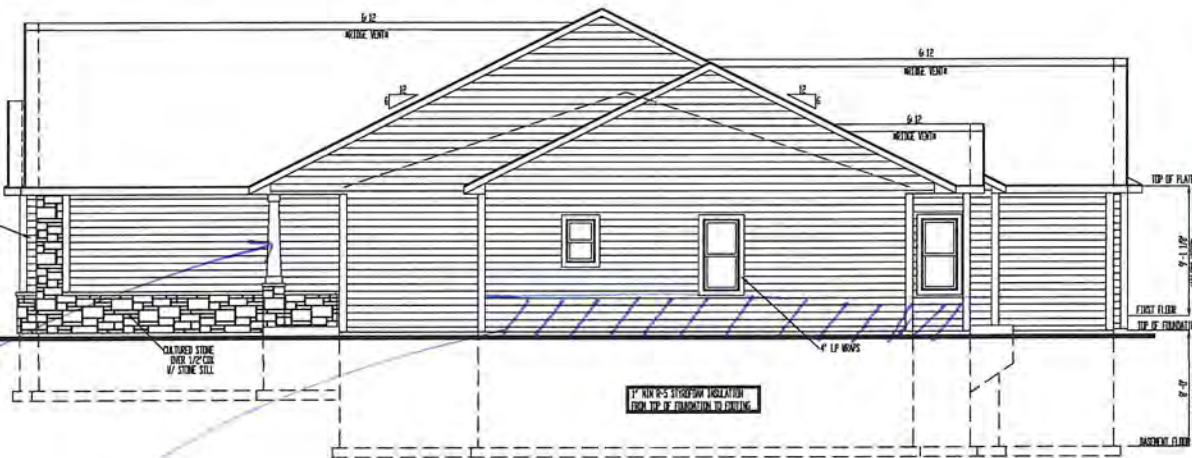


add stone LEFT ELEVATION  
 SCALE: 1/4"=1'-0"



ROOF PLAN  
 SCALE: 1/8"=1'-0"

note  
 material  
 + color



RIGHT ELEVATION  
 SCALE: 1/4"=1'-0"

add  
 stone

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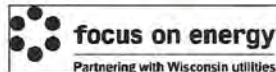
REVISIONS:

DRAWN BY: P. A.  
 DATE: 2/24/14  
 SCALE: 1/4"=1'-0"  
 SHEET: 4



on units 13+17 add details on all windows that face 105th st.

Add this detail to all windows/doors on the 2 unit buildings



**FOCUS ON ENERGY NOTES:**

1. HOME MUST BE MINIMUM 10% MORE EFFICIENT THAN THE SAME HOME DESIGNED TO CURRENT MINIMUM BUILDING CODE STANDARDS
2. AIR TIGHTNESS (0.20 TOTAL BUILDING SHELL AREA IN SQ. FT.)
3. SEALED SHIP INTERLOCK
4. SEALED PLUMBING ROOF-IN THROUGH ROOFING FLOOR (MUST BE AIR TIGHT)
5. FULL CONDENSED INSULATION (R-19) FLOOR BOARD AREA
6. MIN. 100 CFM PER BATH HOUSE FAN, 4" W/ 1/2" METAL DUCT
7. 80 CFM IN ANY ADDITIONAL BATHROOMS, 4" METAL DUCT
8. WATER HEATER MUST BE POWER VENTED OR CLOSED COMBUSTION WITH 0 EQUAL TO OR GREATER THAN 1/2
9. FURNACE MUST BE CLOSED COMBUSTION, INTAKE AND EXHAUST VENT DIRECTLY TO EXTERIOR OF BUILDING
10. FIREPLACE DIRECT VENT/ DIRECT CLOSED COMBUSTION AIR INTAKE CONNECTED DIRECTLY TO EXTERIOR OF BUILDING
11. UNGLAZED AND GASKETED ATTIC ACCESS HATCH IN BUILDING
12. MUST HAVE A RISK OF 2-DO INSULATION ATTACHED TO BACK OF HATCH AND A FURN GASKET TO FORM AIR SEAL BETWEEN HATCH AND FRAMED OPENING TO REAR.

**LEGAL NOTE:**

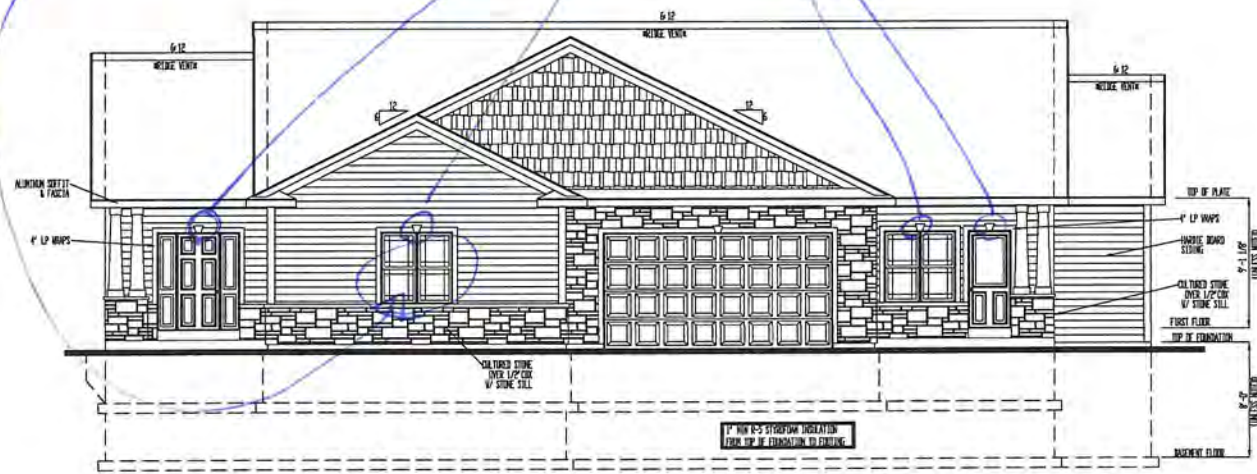
THE ATTACHED BLUEPRINTS ARE STRICTLY A REPRESENTATION OF THE PROPOSED STRUCTURE TO BE BUILT. THE ACTUAL STRUCTURE MAY VARY IN APPEARANCE DUE TO THE CONSTRUCTION METHODS USED. THESE PLANS ARE GUARANTEED TO BE TRUE AND ACCURATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND UNDERSTANDING. THE DESIGNER OF THESE PLANS CAN NOT BE HELD RESPONSIBLE FOR ANY MONETARY LOSS INCURRED AS A RESULT OF ANY NEGLIGENCE PRACTICES BY OTHERS.

**SPECIAL NOTES:**

THE ARCHITECT ACKNOWLEDGES THAT IN THE COURSE OF BUILDING, BECAUSE OF JOB CONDITIONS AND DIFFERENT METHODS OF CONSTRUCTION, DEVIATIONS MAY OCCUR FROM THE PLAN. THEREFORE, THE ARCHITECT RESERVES THE RIGHT TO MAKE SLIGHT MODIFICATIONS TO ROOM SIZES AND PLACEMENT OF MECHANICAL FIXTURES (I.E. FAN, PLUMBING, ELEC, AND THERMOSTATS).

**ROUGH CARPENTER NOTE:**

1. NOTE LOCATION OF TOILET AND R.V. PIPE. DO NOT PLACE FLOOR JOISTS DIRECTLY IN THIS AREA. ALLOW 8" TO THE CENTER ON BOTH SIDES AND 12" FROM THE WALL FOR THE TOILET AND 5" TO THE CENTER ON BOTH SIDES OF THE R.V. PIPE.
2. ALL EXTERIOR OPENINGS (WINDOWS, DOORS, ETC.) ON THE FIRST FLOOR ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, UNLESS IT IS OTHERWISE NOTED AS SUCH ON THE PLAN. ALL EXTERIOR OPENINGS ON THE SECOND FLOOR ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, ANY (BEARINGS) OPENING ON FIRST OR SECOND FLOOR OVER 6'0" SPAN ARE TO BE A MINIMUM OF 2-PLY MICROLAM HEADERS AS NOTED FOR THE PLAN.
3. 1ST FLOOR CANTILEVERS ARE TO BE INSULATED W/ 8-20 BATT INSULATION IN THE GIRD (WHERE APPLICABLE) R-19 BATT INSUL. IN BOX SILL, AND 3/4" PRESSURE TREATED PLYWOOD (NO B-BAND) IS TO BE USED ON 1ST FLOOR CANTILEVERS. 2ND FLOOR CANTILEVERS ARE TO BE INSULATED W/ 8-19 BATT INSULATION, AND 1/2" B-BAND PRIOR TO INSTALLATION OF FINISH FACING.
4. ALL DIMENSIONS SHOWN ON THE PLAN ARE FOR ROUGH DIMENSIONS. THESE ARE FROM THE FACE OF THE STUD TO THE FACE OF THE STUD.
5. ALL INTERIOR HEADERS ON NON-BEARING WALLS ARE TO BE LADDER HEADERS (SEE DETAIL), ALL BEARING WALLS WILL BE NOTED AS TO THE SIDE ON THE PLAN.
6. METAL WRAPAROUND IS TO BE USED AT ALL EXTERIOR CORNERS WHERE SUITABLE. EXCLUDING WHERE CUB IS SUBSTITUTED, R-BAND IS TO BE INSTALLED ON REMAINING WALLS.
7. 7/16" O.C.S. IS TO BE USED ONLY ON DAMAGE EXTERIOR WALLS, ALL GABLE ENDS, FIREPLACE CHIMNEYS AND ALL HANGING WINDOW BOXES/VALUED W/ B/COC 8" TO 10" O.C.
8. ALL HEADERS (INTERIOR BEARING AND ALL EXTERIOR) ARE TO BE NAILED WITH 16D NAILS AT 16" O.C. STAGGERED ON EACH SIDE (ALL MICROLAM HEADERS ARE TO BE NAILED W/ 16D NAILS @ 12" O.C. STAGGERED ON EACH SIDE AND GLUED).



**FRONT ELEVATION**  
SCALE: 1/4"=1'-0" TWO UNIT BUILDING



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"

this shall be brick/stone to match front elevation

RESIDENCE CUSTOM DESIGNED FOR:  
**GREEN BAY TRAIL  
CUSTOM DUPLEX  
PLEASANT PRAIRIE, WI**

8501 75th St., Suite H  
Kenosha, WI 53142  
O: 282-884-1677  
www.HarpeDevelopment.com

**Harpe Development** LLC  
Quality Homes  
at a fraction price!

**REVISIONS:**

DRAWN BY:	P. A.	SHEET:	1
DATE:	12/10/18	OF	4
SCALE:	1/4"=1'-0"		

REV. 1/6/19

RETURN TO:

Harpe Development, LLC

PARCEL IDENTIFIER NUMBER

(S)

**CONDOMINIUM DECLARATION OF  
CONDITIONS,  
COVENANTS, RESTRICTIONS AND  
EASEMENTS FOR GREEN BAY TRAIL  
CONDOMINIUM**

⇒ Attach Exhibit A.

**THIS DECLARATION** (hereinafter "Declaration") is made pursuant to the Condominium Ownership Act of the State of Wisconsin, Chapter 703 of Wisconsin Statutes, (hereinafter referred to as the "Act"), this \_\_\_\_\_ day of \_\_\_\_\_, 2019, by Harpe Development, LLC, a Wisconsin limited liability company (hereinafter referred to as "Declarant").

1. STATEMENT OF DECLARATION

1.1 General Statement. The purpose of this Declaration is to submit the lands hereinafter described and the improvements constructed or to be constructed thereon to the condominium form of ownership in the manner provided by the Act and by this Declaration.

Declarant hereby declares that it is the sole owner of the real property described in Section 2.1 hereof, together with all buildings and improvements thereon (hereinafter referred to as the "Property") which is hereby submitted to the condominium form of use and ownership as provided in the Act and this Declaration, and which property shall be held, conveyed, devised, leased, encumbered, used, improved, and in all respects otherwise effected subject to the provisions, conditions, covenants, restrictions and easements of this Declaration and the Act. All provisions hereof shall be deemed to run with the land and shall constitute benefits and burdens to the Declarant, its successors, and assigns, and to all parties hereinafter having any interest in the property. The property, together with all buildings and improvements is hereinafter called the "Condominium".



Common Elements (hereinafter described) to which the Units have access and further details identifying and describing the Units are shown on the Condominium Plat, together with all fixtures and improvements therein contained. Each Unit shall also consist of one (1) "Garage Unit" which is intended for individual, private use comprised of one cubicle of air having outer boundaries formed by the interior surfaces of the perimeter walls, floors and ceilings of the building. The Garage Unit shall also consist of the windows, window frames, doors and door frames which are located within or contiguous to the Unit. Said boundaries are shown on the Condominium Plat, together with all fixtures and improvements therein contained. A Unit and a Garage Unit may not be separated.

The post office addresses of the Units are:

*insert addresses from staff*  
^ \_\_\_\_\_

The owner of a Unit shall be known as "Unit Owner".

## 5. COMMON ELEMENTS

The "Common Elements" shall consist of all of the Condominium, except the Units as defined hereunder, including without limitation: the land on which the building or buildings are located; bearing walls, floors and ceilings (except the interior surfaces thereof, which form the outer boundaries of each Unit), roofs, foundations, entrances and exits, pipes, ducts, electrical wiring and conduits, centralized utility services, public utility lines, water and sewer laterals, outside walls, girders, beams and support, structural parts of the building, and the walks, driveways and landscaping.

Each Unit Owner shall have an easement to the space between the interior and exterior walls for purposes of adding additional utility outlets, wall hangings, erection of non-bearing partition walls and the like, where space between the walls may be necessary for such uses, provided that the Unit Owner shall do nothing to impair the structural integrity of the building or the soundproofing of common walls between the Units, and provided further that the Common Elements be restored to their former condition by the Unit Owner at his sole expense upon completion or termination of the use requiring the easement. Easements are hereby granted and declared for the benefit of the Unit Owners, Declarant and the Association of Unit Owners (hereinafter described) for the installation, maintenance and repair of common utility services in and on any part of the Common Elements or Units.

The manner of use of the Common Elements shall be governed by the Bylaws of, and such rules and regulations as may be established by Green Bay Trail Condominium Association, Inc., (the "Association"), and no Unit Owner shall decorate, landscape or adorn any Common Elements, or permit such, in any manner contrary to such Bylaws and rules and regulations.



## 8. RESIDENTIAL PURPOSE

All buildings and the Units therein contained are intended for and restricted exclusively to residential use.

## 9. ASSOCIATION OF UNIT OWNERS

9.1 DUTIES AND OBLIGATIONS. All Unit Owners shall be entitled and required to be a member of the Association. The affairs of the Association shall be managed by a Board of Directors (the "Board of Directors") consisting of such number of persons as provided in the Bylaws of the Association. The Association may be incorporated as a non-profit corporation under the Laws of the State of Wisconsin. Each Unit Owner and the occupants of the Units shall abide by and be subject to all of the rules, regulations, duties and obligations of this Declaration and the Bylaws and rules and regulations of the Association.

9.2 VOTING RIGHTS. Each Unit Owner shall be entitled to one (1) vote for each Unit owned. The Unit Owners shall have the right to vote on all matters submitted to a vote of the Members and such other additional rights and powers as set forth in the By-Laws. The Declarant shall be entitled to one (1) vote for each Unit owned by Declarant. Notwithstanding the foregoing provisions for voting, the Declarant shall be deemed to have sufficient votes to constitute a majority of votes until all of Declarant's Units are sold; provided, however, that Declarant's control shall cease ten (10) years after the first Unit is conveyed to a purchaser other than Declarant, or thirty (30) days after the conveyance of Seventy-five percent (75%) of the Common Elements, whichever time is earlier. ^

9.3 ASSOCIATION PERSONNEL. The Declarant and Association may obtain and pay for the services of any person or entity to manage its affairs to the extent it deems advisable and may hire such other personnel as it shall determine to be necessary or advisable for the proper operation of the Condominium. The Declarant and Association may contract for lighting, heating, water, trash collection, sewer service and such other common services as may be required for each Unit. (Village trash collector → confirm).

9.4 CONDOMINIUM DOCUMENTATION. The Association shall be required to make available to Unit Owners, their lenders and the holders and insurers of the first mortgage on any Unit, current copies of the Declaration, Bylaws and other rules governing the Condominium, and other books, records and financial statements of the Association. The Association shall be required to make available to prospective purchasers current copies of the Declaration, Bylaws, and other rules governing the Condominium, and the most recent annual audited financial statement, if such is prepared. Upon written request from any of

following the  
creation of  
an owner  
operated and  
responsible  
Association.

Provide  
Assn. budget ← include:  
pond maintenance  
sidewalk maintenance  
street tree maintenance  
grounds / building / garage maintenance ...



limiting the foregoing, in addition to decorating and keeping the interior of the Unit in good repair, each Unit Owner shall be responsible for all plumbing fixtures and piping connected to the Unit, fireplace, chimney, and flue, the replacement of windows, doors, lighting fixtures, refrigerators, air-conditioning equipment, all components of any furnaces or heating equipment, dishwashers, disposal, laundry equipment such as washers and dryers, ranges, or other equipment which may be in, or connect with, the Unit. Each Unit Owner shall keep the Limited Common Elements appurtenant to his Unit in a good, clean, sanitary, and attractive condition. In addition, the Association shall regulate the use of the Limited Common Elements to ensure proper and attractive conditions.

do the units have fireplaces?

### 10.3 PROHIBITION AGAINST STRUCTURAL CHANGES BY

OWNER. A Unit Owner shall not, without first obtaining the written consent of the Association, make any alteration that would jeopardize the soundness or safety of the Condominium, reduce the value of the Condominium, or impair any easement or hereditament, or change the exterior appearance of a Unit or any other portion of the Condominium not part of the Unit. A Unit Owner may make improvements or alterations within the Unit that do not impair the structural integrity, or lessen the support of any portion of the Condominium, and that do not create a nuisance substantially affecting the use and enjoyment of other Units or the Common Elements.

or painting the exterior or changing/adding different doors or windows

10.4 ENTRY FOR REPAIRS. The Association shall have an irrevocable right and easement to enter any Unit at reasonable times and under reasonable conditions when necessary to make repairs to Common Elements and Limited Common Elements when the repairs reasonably appear necessary for public safety or to prevent damage to other portions of the Condominium. The Association shall make a reasonable effort to give prior notice to the owners, except in cases involving manifest danger to public safety or property, and with as little inconvenience to the Unit Owners as practical, and any damage caused thereby shall be repaired by the Association and be treated as a common expense. No entry by the Association for the purposes specified in this paragraph may be considered a trespass.

→ screens shall not be removed and shall be kept in good repair by the owner

10.5 IMPROVEMENTS TO LIMITED COMMON ELEMENTS. A Unit Owner may improve the Limited Common Elements appurtenant exclusively to the Unit Owner's Unit if all the following conditions are met:

1. A statement describing the improvement, including a description of the project, the materials to be used, and the project's proposed impact on the appearance of the Condominium, and identifying the project contractor is submitted to the Board of Directors of the Association.



constitutes reasonable action to evict the tenant for purposes of this paragraph. The Association shall give the Unit Owner ten (10) days' written notice of the Association's intent to evict a tenant. The cost of the eviction shall be the responsibility of the Unit Owner and shall immediately become a personal debt of the Unit Owner and also a lien, against the Unit to which the charges are assessed, until paid, if a statement of lien is filed within two (2) years after the date the assessment becomes due.

Notwithstanding anything to the contrary herein, at least 80% of the Units shall be owner occupied. In addition, no Unit Owner may have a storage pod in the parking lot for more than 2 weeks.

or trailer or adjacent to a unit

A tenant of a Unit who fails to comply with this Declaration, the Bylaws, rules of the Association, or the Act that results in a charge, fine, or assessment imposed by the Association pursuant to the Bylaws or Association rules is liable for the charge, fine, or assessment. The Unit Owner of the Unit occupied by the tenant when the violation occurred is liable for any charges, fines, or assessments imposed by the Association for which the tenant is liable that are not paid by the tenant within thirty (30) days after receiving notice of the charge, fine, or assessment. If the Association imposes a charge, fine, or assessment as a result of a violation by the tenant of a Unit, the Association shall give notice to the tenant by any method under Wisconsin Statute Section 704.21(1)(a) – (e) and to the Unit Owner of the Unit occupied by the tenant by any method under Wisconsin Statute Section 704.21(2)(a) – (d). The notice shall include all of the following:

A. The amount of charges, fines, or assessments for which the tenant is liable.

B. Notice that if the tenant fails to pay the Association the amount for which the tenant is liable within thirty (30) days after the tenant receives the notice, the Unit Owner is liable to the Association for the unpaid amount by the tenant.

The rental or lease of a Unit constitutes an agreement by the tenant, as a condition of the Lease, to comply with this Declaration, the Bylaws, the rules of the Association, and the provisions of the Act. Within five (5) business days after entering into or renewing a written Lease Agreement, the Unit Owner shall provide a copy of the Lease Agreement to the Association. The Association shall keep a copy of the Lease Agreement on file while the Lease Agreement is in effect. Prior to the occupancy of a Unit, the Unit Owner shall provide a copy of this Declaration, the Bylaws, and the rules of the Association, to the tenant, or place the information in the Unit.

### 13. DESTRUCTION AND RECONSTRUCTION

In the event of a partial or total destruction affecting one or more of the Units of the Condominium, the Association shall promptly undertake to repair or reconstruct it to a condition



that the insurance cannot be cancelled, invalidated nor suspended on account of conduct of any one or more Unit Owners or the Association or their servants, agents and guests, without thirty (30) days prior written notice to the Association giving it opportunity to cure the defect within that time. The amount of protection and the types of hazards to be covered shall be reviewed by the Board of Directors at least annually and the amount of coverage may be increased or decreased at any time it is deemed necessary as determined by the Board of Directors to conform to the requirements of full insurable value.

The Unit Owner shall be responsible for and shall obtain insurance coverage for personal property and the replacement of appliances including refrigerators, dishwashers, disposal, laundry equipment such as washers and dryers, and ranges. *screens, vents, exterior lights?*

In the event of partial or total destruction of a building or buildings and it is determined to repair or reconstruct such building or buildings in accordance with Section 13 hereof, the proceeds of such insurance shall be paid to the Association to be applied to the cost thereof and the Unit Owners and mortgagees shall not be entitled to receive payment of any portion of insurance proceeds. If it is determined not to reconstruct or repair the Condominium, or the Court has ordered partition of the Condominium, then the proceeds shall be distributed to the Unit Owners and their mortgagees, if any, as their respective interest may appear in the manner provided by the Act. If after the Common Elements have been completely repaired or restored, and there is a surplus of insurance proceeds, then the surplus shall be considered a common surplus and may, at the direction of the Board of Directors, be distributed to the Unit Owners in accordance with their percentage of ownership in the Common Elements.

If insurance coverage is available to combine protection for the Association and the Unit Owner's individual Unit, the Board of Directors is hereby given discretionary power to negotiate such combination of insurance protection on an equitable cost-sharing basis under which the Unit Owner would be assessed individually for the amount of insurance which he directs the Board of Directors to include such policies for his additional protection. Copies of all such policies shall be provided to each mortgagee. Nothing contained in this paragraph shall be deemed to prohibit any Unit Owner, at his expense, to provide any additional insurance coverage on his improvements which will duplicate any insurance provided by the Association of Unit Owners. The Board of Directors shall also provide and maintain public liability insurance covering the Common Elements in such amounts as may be determined at the discretion of the Board of Directors from time to time but, in any event such coverage shall be for at least \$1,000,000.00 for bodily injury and personal injury including deaths of persons and property damage arising out of a single occurrence. The Board of Directors may also provide workmen's compensation insurance and fidelity bonds on such officers and employees and in such amounts as is determined by the Board of Directors to be necessary from time to time.

*How are sewer, water, clean water, fountain electricity, fire protection and garbage collection payments being made? In monthly dues?*

within the two year period it is filed. The Association must serve the Declarant with a notice of dues within thirty (30) days of assessment.

A lien for delinquent common expenses that the Association assesses against a Unit will be subordinate to a first mortgage on the Unit, if the mortgage was recorded before the delinquent assessment was due. In addition, a lien for common expenses will not be affected by the sale or transfer of a Unit unless a foreclosure of a first mortgage is involved, in which case the foreclosure will extinguish the lien for any assessments that were payable before the foreclosure sale, but will not release any subsequent Unit Owner from paying any further assessments.

The Association is granted the power to collect levied assessments from the Unit Owners in accordance with legal remedies available if the assessments are not paid when they are due. The assessments, including interest at Twelve percent (12%) annum, costs and reasonable attorneys fees, shall become a lien against the Unit.

All sums assessed by an association, but unpaid for, regarding the share of the common expenses chargeable to any Unit constitutes a lien on the Unit and on the undivided interest in the Common Elements and Limited Common Elements appurtenant thereto prior to all other liens except:

- A. Liens of general and specific taxes;
- B. All sums unpaid on a first mortgage recorded prior to the making of the assessment;
- C. Mechanics liens filed prior to the making of the assessment;
- D. All sums unpaid on any mortgage loan made under Section 45.80 (1989 Stats.) of the Wisconsin Statutes;
- E. A lien under Section 292.31(8)(i) or 292.81 of the Wisconsin Statutes.

The common surpluses resulting from the operation of the Condominium shall be credited to the Unit Owner's assessments for common expenses, or shall be used for any other purpose as the Association decides, or shall be refunded to the Unit Owners with each Unit receiving a share of said surplus in proportion to the dues paid by the Unit Owner during the preceding twelve (12) month period.

A grantee of a Unit is entitled to a statement from the Association, or the Board of Directors, setting forth the amount of unpaid assessments against the grantor of a Unit. The grantee of a Unit is not liable for, nor shall the Unit conveyed be subject to a lien that is not filed for, any unpaid assessment against the grantor in excess of the amount set forth in the statement. If the Association, or the Board of Directors, does not provide such a statement within ten (10) business days after the grantee's request, the Association is barred from claiming under any lien that is not filed prior to the request for the statement against the grantee.



benefit of the Declarant, its successors and assigns. In no event shall the Declarant be required to expand the Condominium or add any portion of the Expansion Real Estate thereto. In the event the Declarant shall not add to the Condominium all or any portion of the Expansion Real Estate, the Declarant nevertheless shall have the right to construct on, renovate, or remodel all or any portion of any improvements on the Expansion Real Estate and to operate the same without restriction.

18.3 ENCROACHMENTS. In the event that by reason of the construction, reconstruction, settlement, or shifting of any building, or the design or construction of any Unit, any part of the Common Elements, or Limited Common Elements, encroaches or shall hereafter encroach upon any part of any Unit, or any part of any Unit encroaches or shall hereafter encroach upon any part of the Common Elements, Limited Common Elements, or any portion of any Unit encroaches upon any part of any other Unit, valid easements for the maintenance of such encroachment are hereby established and shall exist for the benefit of such Unit so long as all or any part of the building containing such Unit shall remain standing; provided, however, that in no event shall a valid easement for any encroachment be created in favor of the owner of any Unit or in favor of the owner or owners of the Common Elements or Limited Common Elements, if such encroachments occurred due to the willful conduct of said owner or owners.

18.4 BINDING EFFECT. All easements and rights described herein are easements appurtenant, running with the land, and are subject to the reasonable control of the Association. All easements and rights described herein are granted and reserved to, and shall inure to the benefit of and be binding on, the undersigned, its successors and assigns, and on all Unit Owners, purchasers and mortgagees and their heirs, executors, administrators, successors and assigns. The Association shall have the authority to execute all documents necessary to carry out the intent of this Section 18.

## 19. FAILURE OF ASSOCIATION TO INSIST ON STRICT PERFORMANCE NOT WAIVER

The failure of the Association to insist, in any one or more instances, upon the strict performance of any of the terms, covenants, conditions or restrictions of this Declaration, or to exercise any right or option herein contained, or to serve any notice or to institute any action, shall not be construed as a waiver or a relinquishment for the future of such term, covenant, condition or restriction, but such term, covenant, condition or restriction shall remain in full force and effect. The receipt by the Association of payment of any assessment from a Unit Owner, with knowledge of the breach of any covenant hereof, shall not be deemed as a waiver of such breach, and no waiver by the Association of any provision hereof shall be deemed to have been made unless expressed in writing and signed by the Association.

22.2 NOTICES TO FIRST LIEN HOLDERS. A holder, insurer or guarantor of a first mortgage (an eligible mortgage holder), upon written request to the Association will be entitled to timely written notice of:

A. Any proposed amendment of the Condominium Declaration affecting a change in (1) the boundaries of any Unit or the exclusive easement rights appertaining thereto, (2) the interest in the Limited Common Elements appertaining to any Unit or the liability for common expenses appertaining thereto, (3) the number of votes in the Association appertaining to any Unit, (4) the purposes to which any Unit or the Common Elements are restricted; (5) in assessments that raise the previous assessed amount by more than Twenty five percent (25%), (6) the reserves for maintenance, repair and replacement of common elements which results in a reduction, (7) expansion or contraction of the project or the addition, annexation, or withdrawal of property to or from the project, (8) imposition of any restrictions on the leasing of Units, (9) imposition or restriction on a Unit Owner's right to sell or transfer his Unit, or (10) the restoration or repair of the project in a manner other than specified in the document.

B. Any proposed termination of the Condominium regime;

C. Any condemnation loss or any casualty loss which affects a material portion of the Condominium or which affects any Unit on which there is a first mortgage held, insured or guaranteed by such eligible holder;

D. Any delinquency in the payment of assessments or charges owned by a Unit Owner or a Unit subject to the mortgage of such eligible holder, insurer or guarantor, where such delinquency has continued for a period of sixty (60) days;

E. Any lapse, cancellation or material modification of any insurance policy maintained by the Association.

## 23. FURTHER MATTERS

A. All present and future owners of Units, tenants of such owners and any other occupants of Units, employees of owners, or any other persons that in any manner use or come upon the Condominium or any part thereof shall be subject to and shall comply with the provisions of this Declaration, the Articles of Incorporation of the Association, and the Bylaws and rules and regulations



## 26. CAPTIONS

The captions and section headings herein are inserted only as matters of convenience and for reference, and in no way define nor limit the scope or intent of the various provisions hereof.

## 27. SEVERABILITY

The provisions hereof shall be deemed independent and severable, and the invalidity or partial invalidity or unenforceability of any one provision or portion thereof shall not affect the validity or enforceability of the remaining portion of said provisions or of any other provision hereof.

## 28. CONFLICTS IN PROVISIONS

If there is any conflict between any provision and this Declaration and the provisions of the Condominium Plat or any provisions of the Bylaws, the provisions of this Declaration shall control. If there is any conflict between any provisions of any condominium instruments and any provisions of any Bylaws, the provisions of the condominium instruments shall control. If there is any conflict between any provisions of any condominium instruments or any provisions of any Bylaws and any provisions of Wisconsin Statutes Chapter 703, the provisions of Wisconsin Statutes Chapter 703 shall control.

## 29. HOMESTEAD

This is not homestead property.

**IN WITNESS WHEREOF**, the said Declarant, Harpe Development, LLC, has caused this Amendment to be executed at \_\_\_\_\_, Wisconsin, this \_\_\_\_\_ day of July, 2006.

Harpe Development, LLC

By: \_\_\_\_\_  
Dustin Harpe, Managing Member

DRAFT 12-10-2018

**BYLAWS**  
**OF**  
**GREEN BAY TRAIL CONDOMINIUM ASSOCIATION, INC.**

ARTICLE I

NAME AND PURPOSE

Pursuant to the Articles of Incorporation of Green Bay Trail Condominium Association, Inc., and the Condominium Declaration of Green Bay Trail Condominium, recorded in the office of the Register of Deeds for Kenosha County, Wisconsin, (hereinafter called the "Declaration") by Green Bay Trail, LLC (together with its successors and assigns hereinafter "Declarant"), the following are adopted as the Bylaws of Green Bay Trail Condominium Association, Inc. (hereinafter referred to as the "Association"), which is a non-stock, non-profit corporation formed and organized to serve as an Association of the owners of Units (hereinafter referred to as "Unit Owners") who own real estate and improvements (hereinafter the "Property") under the condominium form of use and ownership, as provided in the Condominium Ownership Act under the laws of the State of Wisconsin and subject to the terms and conditions of the Declaration, which is incorporated by reference.

These Bylaws shall be deemed covenants running with the land and shall be binding on the Unit Owners, their heirs, administrators, personal representatives, successors and assigns.

ARTICLE II

MEMBERS, VOTING AND MEETINGS

2.1 MEMBERS. The corporation shall have one class of members, and the rights and qualifications of the members are as follows:

1. Defined. Members shall be all Unit Owners, with the initial exception of the Declarant, and shall have one vote for each Unit owned. Every Unit Owner upon acquiring ownership automatically becomes a member of the Association and remains a member thereof until such time as his ownership of such Unit



with the Secretary before the appointed time of the meeting. If any meeting of members cannot be organized because a quorum is not present, a majority of the members who are present, either in person or by proxy, may adjourn the meeting from time to time until a quorum is present, without further notice. At such adjourned meeting at which a quorum shall be present or represented any business may be transacted which might have been transacted at the meeting as originally noticed.

### 2.3 TIME, PLACE, NOTICE AND CALLING OF MEMBERS' MEETINGS.

emailed? y  
Written notice of all meetings stating the time and place and the purposes for which the meeting is called shall be given by the President or Secretary, unless waived in writing, to each member at his address as it appears on the books of the Association and shall be mailed or personally delivered not less than ten (10) days nor more than thirty (30) days prior to the date of the meeting. Notice of meetings may be waived before or after meetings. Meetings shall be held at such time and place as may be designated by the Board of Directors. The annual meeting shall be held on the third Monday in January of each year for the purpose of electing directors and of transacting any other business authorized to be transacted by the members. Special meetings of the members shall be held whenever called by the President or any two members of the Board of Directors and must be called by such officers upon receipt of a written request signed by members with one-third (1/3) or more of all votes entitled to be cast.

## ARTICLE III

### BOARD OF DIRECTORS

3.1 NUMBER AND QUALIFICATIONS OF DIRECTORS. The initial Board of Directors shall consist of five (5) persons appointed by Declarant, who need not be members of the Association, to serve as hereinafter set forth. Prior to the conveyance of twenty-five percent (25%) of the Common Elements to purchasers, the Association shall hold a meeting and the Unit Owners other than the Declarant shall elect at least twenty-five percent (25%) of the members of the Board of Directors. Prior to the conveyance of fifty percent (50%) of the Common Elements to purchasers, the Association shall hold a meeting and the Unit Owners other than the Declarant shall elect at least thirty-three and one-third percent (33 1/3%) of the members of the Board of Directors. The remaining members of the Board of Directors shall serve until Declarant no longer owns a Unit or a date not exceeding ten (10) years from the first conveyance of a Unit by a Declarant to any person other than Declarant, whichever shall occur first. Thereafter, the Board of Directors shall consist of three (3) persons, to be classified with respect to the terms for which they severally hold office as set forth in Paragraph 3.3 below. Each member of the

3.5 REMOVAL OF DIRECTORS. At any regular or special meeting duly called, any one or more of the directors may be removed with or without cause by a majority of the votes of the members entitled to be cast and a successor may then and there be elected to fill the vacancy thus created.

3.6 REGULAR MEETINGS AND NOTICE. A regular annual meeting of the Board of Directors shall be held immediately after, and at the same place as, the annual meeting of the members. Notice of the regular annual meeting of the Board of Directors shall not be required.

3.7 SPECIAL MEETINGS AND NOTICE. Special meetings of the Board of Directors may be called by the President or by two (2) directors on three (3) days prior written notice to each director, given personally or by mail, which notice shall state the time, place and purpose of the meeting.

3.8 WAIVER OF NOTICE. Before, at or after any meeting of the Board of Directors, any director may in writing, waive notice of such meeting and such waiver shall be deemed equivalent to the giving of such notice. Attendance by a director at any meeting of the Board shall be a waiver of notice by him of the time and place thereof. If all of the directors are present at any meeting of the Board, no notice shall be required and any business may be transacted at such meeting.

3.9 QUORUM OF DIRECTORS – ADJOURNMENTS. At all meetings of the Board of Directors, a majority of the directors shall constitute a quorum for the transaction of business, and the act of the majority of the directors present at a meeting at which a quorum is present shall be the act of the Board of Directors. If, at any meeting of the Board of Directors, there shall be less than a quorum present, the majority of those present may adjourn the meeting from time to time without further notice. At any such adjourned meeting at which a quorum is present, any business which might have been transacted at the meeting as originally called may be transacted.

3.10 FIDELITY BONDS. The Board of Directors may require that some or all officers and/or employees of the Association handling or responsible for Association's funds shall furnish adequate fidelity bonds. The premiums on any such bonds shall be paid for by the Association.



4.4 SECRETARY. The Secretary shall keep the minutes of all meetings of the Board of Directors and of the Association and shall have charge of the Association's books and records, and shall, in general, perform all duties incident to the office of Secretary.

4.5 TREASURER. The Treasurer shall have responsibility for the Association's funds and shall be responsible for keeping full and accurate accounts of all receipts and disbursements and financial records and books of account on behalf of the Association. He shall be responsible for the deposit of all monies and all valuable effects in the name, and to the credit, of the Association in such depositories as may from time to time be designated by the Board of Directors. The Treasurer shall also be responsible for the billing and collection of all common charges and assessments made by the Association.

4.6 LIABILITY OF DIRECTORS AND OFFICERS. No person shall be liable to the Association for any loss or damage suffered by it on account of any action taken or omitted to be taken by him as a director or officer of the Association, if such person (a) exercised and used the same degree of care and skill as a prudent man would have exercised or used under the circumstances in the conduct of his own affairs, or (b) took or omitted take such action in reliance upon advice of counsel for the Association or upon statements made or information furnished by officers or employees of the Association which he has reasonable grounds to believe to be true. The foregoing shall not be exclusive of other rights and defenses to which he may be entitled as a matter of law.

4.7 COMPENSATION. No officer of the corporation shall receive any fee or other compensation for services rendered to the Association except by specific resolution of the membership.

## ARTICLE V

### OPERATION OF THE PROPERTY

5.1 THE ASSOCIATION. The Association, acting through the Board of Directors, shall be responsible for administration and operation of the condominium property, in accordance with the Declaration, the Articles of Incorporation, and these Bylaws. The Association may contract for management services and a managing agent with respect to the administration and operation of the condominium.

The annual operating budget shall provide for two funds, one of which shall be designated the "operating fund" and the other the "reserve fund." The operating fund shall be used for all common expenses of the Association which occur with greater than annual frequency, such as amounts required for the cost of maintenance of the Common Elements and Limited Common Elements, lawn care and snow removal, insurance, common services, administration, materials and supplies. The reserve fund shall be used for contingencies and periodic expenses such as painting or renovation. In the event the Association incurs extraordinary expenditures not originally included in the annual budget, then such sums as may be required in addition to the operating fund shall be first charged against the reserve fund. In the event that both funds prove inadequate to meet the necessary expenses of the Association, the directors may levy a further assessment against the Units which are subject to assessment equally.

The reserve fund may include such amounts as the Board of Directors may deem necessary to provide for the purchase or lease of any Unit whose owner wishes to sell or lease to the Association. The reserve fund may also be used to discharge mechanic's liens or other encumbrances levied against the entire property, or against each Unit, if resulting from action by the Association. The Unit Owner or Unit Owners responsible for any lien which is paid by the Association, but not the obligation of the Association, shall be specially assessed for the full amount thereof.

The directors may also use the reserve fund for the maintenance and repair of any Unit if such maintenance and repair is necessary to protect the Common Elements. The full amount of the cost of any such maintenance or repair shall be specially assessed to the Unit Owner responsible thereof.

The Board of Directors shall determine the amount to be assessed Unit Owners for reserve funds after considering all of the following:

- (a) The reserve funds currently in the fund.
- (b) The estimated cost of repairing or replacing common elements, other than routine maintenance.
- (c) The estimated remaining useful life of the common elements.
- (d) The approximate proportion of the estimated cost of repairing or replacing common elements that would be covered by the reserve funds and the approximate proportion that will be funded by other means.
- (e) Any other factor that the Association considers relevant.



Association may acquire land in its own name. The President and Secretary on behalf of the Association shall be authorized to execute necessary documents to effectuate the acquisition.

Upon written consent of One hundred percent (100%) of Unit Owners and mortgagees portions of the Property as described in the Declaration may be sold. However, the Declaration shall be amended to reflect such sale. Proceeds of any sale shall be divided among the Unit Owners according to their percentage of ownership in Common Elements.

## ARTICLE VI

### DUTIES AND OBLIGATIONS OF UNIT OWNERS

6.1 RULES AND REGULATIONS. The Units, Common Elements, and Limited Common Elements shall be occupied and used in accordance with the Declaration, the Articles of Incorporation, these Bylaws, Condominium Plat and the rules and regulations of the Association, including the following:

a) USE. No Unit to be occupied or used for any purposes other than a single family private residence.

b) OBSTRUCTIONS. There shall be no obstruction of the Common Elements and nothing shall be stored therein without the prior consent of the Association.

c) INCREASE OF INSURANCE RATES. Nothing shall be done or kept in any Unit, Common Element, or Limited Common Element which will increase the rate of insurance on the Condominium without the prior consent of the Association. No Unit Owner shall permit anything to be done or kept in his Unit or Limited Common Element which will result in the cancellation of insurance on any Unit or any part of the Condominium, or which would be in violation of any law or ordinance. No waste will be committed in the Common Elements or Limited Common Elements.

d) SIGNS. No sign of any kind shall be displayed to the public view on or from any Unit, the Common Elements, or the Limited Common Elements without prior consent of the Association except for a sign that supports or opposes a candidate for public office or a sign that supports or opposes a referendum question, pursuant to 2005 Wisconsin Act 303, Display of Political Signs in

f) NOXIOUS ACTIVITY. No noxious or offensive activity shall be carried on in any Unit, the Common Elements or the Limited Common Elements, nor shall anything be done therein which may be or become an annoyance or nuisance to others.

g) ALTERATION, CONSTRUCTION OR REMOVAL. Nothing shall be altered or constructed in or removed from the Common Elements, except upon the written consent of the Association.

h) CONFLICT. The above rules and regulations and those which may be hereafter adopted by the Association, are in addition to the Declaration, and the documents, contracts, declarations, and easements set forth in the Declaration, and in the event of a conflict, the Declaration and contracts, declarations, and easements set forth and referenced therein shall govern.

i) REMEDIES. Failure to comply with any of these Bylaws or any other rules, regulations, covenants, conditions or restrictions imposed by the Act, the Declaration or the Board shall be grounds for action to recover sums due for damages or injunctive relief or both, maintainable for the Association or, in a proper case, by an aggrieved member.

6.2 MAINTENANCE AND REPAIR OF UNITS. Every Unit Owner must perform properly or cause to be performed all maintenance and repair work within his own Unit which if omitted would affect the Condominium or a portion belonging to other Unit Owners, and such Unit Owners shall be personally liable to the Association for any damages caused by their failure to do so.

6.3 LIMITED COMMON ELEMENTS. Every Unit Owner must maintain the Limited Common Elements appurtenant to his Unit in clean and proper condition. No objects or structures other than approved moveable furniture or decorative pieces, shall be placed thereon without the prior written consent of the Board of Directors of the Association. Every Unit Owner shall have the right to decorate the Limited Common Elements appurtenant to his Unit in a nonstructural manner provided that decorations which are visible to other Units or to the public shall have the prior written approval of the Board of Directors of the Association.

6.4 ADDITIONAL RULES AND REGULATIONS. Additional rules and regulations concerning the use of the Common Elements and Limited Common Elements



such other evidence of this title to the Board of Directors, and the Secretary shall maintain all such information in the record of ownership of the Association.

9.2 MORTGAGES. Any Unit Owner who mortgages his Unit or any interest therein shall notify the Board of Directors of the name and address of this mortgagee, and shall maintain all such information in the record of ownership of the Association. The Board of Directors at the written request of any mortgagee shall furnish timely written notice of:

- A. Any condemnation loss or any casualty loss which affects the material portion of the property or any Unit on which there is a first mortgage held, insured, or guaranteed by such mortgagee, insurer or guarantor, as applicable;
- B. Any delinquency in the payment of assessments owed by a Unit Owner subject to a first mortgage held, insured or guaranteed by such mortgagee, insurer or guarantor, which may remain uncured for a period of sixty (60) days.
- C. Any lapse, cancellation or material modification of any insurance policy maintained by the Association;
- D. Any proposed action which will require the consent of a specified percentage of eligible mortgagees.

The Board of Directors at the request of any prospective purchaser of any Unit or interest therein shall report to such person the amount of any assessments against such Unit then due and unpaid.

The Association shall be required to make available to Unit Owners and mortgagees, and to holders, insurers or guarantors of any mortgage, current copies of the Declaration, Bylaws, other rules concerning the project and the books records and financial statements of the Association. "Available" means available for inspection, upon request, during normal business hours or under other reasonable circumstances.

9.3 BOOKS OF RECEIPTS AND EXPENDITURES; AVAILABILITY FOR EXAMINATION. The Association shall keep detailed, accurate records using standard bookkeeping procedures or receipts and expenditures affecting the Common Elements, specifying and itemizing the maintenance and repair expenses of the Common Elements and any other expenses incurred. The records and the vouchers authorizing the payments shall be available for examination by the Unit Owners at convenient hours.

9.6 INTERPRETATION. In case any provision of these Bylaws shall be held invalid, such invalidity shall not render invalid any other provision hereof which can be given effect. Nothing in these Bylaws shall be deemed or construed to authorize the Association or Board of Directors to conduct or engage in any active business for profit on behalf of any or all of the Unit Owner.

9.7 ASSOCIATION MAILING ADDRESS. The mailing address of the association is 8501 75<sup>th</sup> Street, Suite H, Kenosha, Wisconsin 53142.

- End of Bylaws -

This Document was Drafted By:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Return Document to:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Will Bylaws be recorded?





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DEC 10 2018

PLEASANT PRAIRIE

**COMPREHENSIVE PLAN AMENDMENT**

I (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie 2035 Comprehensive Plan as hereinafter requested related to the following property:

Property Location: South East corner of Hwy 165 & Old Green Bay Rd

Legal Description: See Attached

Tax Parcel Number(s): Multiple TAX Parcels, see attached

**Check all that apply**

☐ Land Use Plan Amendment:

To change the land use designation from \_\_\_\_\_  
to \_\_\_\_\_

☐ Neighborhood Plan Amendment to \_\_\_\_\_ Neighborhood

☒ Other Amendment to the Comprehensive Plan (specify)

Change the unit count & buildings from Previous approved Condo Plat & developer

Petitioner's interest in the requested amendment:

Harpe Development is the new owner of the former Vintage Parc Condominium Development. Dustin Harpe wishes to change the type and location of the buildings from the Prior Recorded plat. He wishes to vacate the old CSM & condominium plat to replace with his Development of Green Bay Trail Condominium. The new project will consist of 14 Twindominium, condominium style buildings for a total of 28 units. Plus 6 (six) 3 Unit Condominium style buildings for a total of 18 units. The GRAND total of new units created is 46 (Forty-six).

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

**PROPERTY OWNER:**

Print Name: Dustin Harpe-Harpe De

Signature: [Signature]

Address: 8501 75th St, Suite H

Kenosha 53142 WI  
(City) (State) (Zip)

Phone: 262-694-1677

Fax: \_\_\_\_\_

Email: sales@harpedevelopment.c

Date: 12-10-2018

**APPLICANT/AGENT:**

Print Name: Nancy Washburn

Signature: [Signature]

Address: 7450 County Line Rd

Mt. Pleasant 53403 WI  
(City) (State) (Zip)

Phone: 262-818-1836

Fax: \_\_\_\_\_

Email: nancylynnwashburn@gmail.co

Date: 12-10-2018

Community Development Department, 9915 39<sup>th</sup> Avenue, Pleasant Prairie WI 53158

262-925-6717

Attachment To  
Comp Plan Amendment  
Application 12-10-18

**EXHIBIT "A"**  
Legal Description

Units 11 through 16 in Building 1, Units 21 through 26 in Building 2, Units 31 through 34 in Building 3, Units 41 through 46 in Building 4, Units 51 through 54 in Building 5, Units 61 through 64 in Building 6, Units 71 through 74 in Building 7, Units 81 through 84 in Building 8, Units 91 through 94 in Building 9, Units 101 through 104 in Building 10, Units 111 through 114 in Building 11, Units 121 through 124 in Building 12, Units 131 through 134 in Building 13, Units 141 through 144 in Building 14, Units 151 through 154 in Building 15, together with said units' undivided interest in the common elements (and the exclusive use of the limited common elements appurtenant to said unit) all in Vintage Parc Condominium, a condominium declared and existing under and by virtue of the Condominium Ownership Act of the State of Wisconsin and recorded by a Declaration as such condominium in the Office of the Register of Deeds for Kenosha County, Wisconsin, on June 22, 2007, as Document No. 1525029, said condominium being located in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin on the real estate described in said Declaration and incorporated herein by this reference thereto.

Tax Key No.'s: 92-4-122-272-0601 (Unit 11), 92-4-122-272-0602 (Unit 12), 92-4-122-272-0603 (Unit 13), 92-4-122-272-0604 (Unit 14), 92-4-122-272-0605 (Unit 15), 92-4-122-272-0606 (Unit 16), 92-4-122-272-0607 (Unit 21), 92-4-122-272-0608 (Unit 22), 92-4-122-272-0609 (Unit 23), 92-4-122-272-0610 (Unit 24), 92-4-122-272-0611 (Unit 25), 92-4-122-272-0612 (Unit 26), 92-4-122-272-0613 (Unit 31), 92-4-122-272-0614 (Unit 32), 92-4-122-272-0615 (Unit 33), 92-4-122-272-0616 (Unit 34), 92-4-122-272-0617 (Unit 41), 92-4-122-272-0618 (Unit 42), 92-4-122-272-0619 (Unit 43), 92-4-122-272-0620 (Unit 44), 92-4-122-272-0621 (Unit 45), 92-4-122-272-0622 (Unit 46), 92-4-122-272-0623 (Unit 51), 92-4-122-272-0624 (Unit 52), 92-4-122-272-0625 (Unit 53), 92-4-122-272-0626 (Unit 54), 92-4-122-272-0627 (Unit 61), 92-4-122-272-0628 (Unit 62), 92-4-122-272-0629 (Unit 63), 92-4-122-272-0630 (Unit 64), 92-4-122-272-0631 (Unit 71), 92-4-122-272-0632 (Unit 72), 92-4-122-272-0633 (Unit 73), 92-4-122-272-0634 (Unit 74), 92-4-122-272-0635 (Unit 81), 92-4-122-272-0636 (Unit 82), 92-4-122-272-0637 (Unit 83), 92-4-122-272-0638 (Unit 84), 92-4-122-272-0639 (Unit 91), 92-4-122-272-0640 (Unit 92), 92-4-122-272-0641 (Unit 93), 92-4-122-272-0642 (Unit 94), 92-4-122-272-0643 (Unit 101), 92-4-122-272-0644 (Unit 102), 92-4-122-272-0645 (Unit 103), 92-4-122-272-0646 (Unit 104), 92-4-122-272-0647 (Unit 111), 92-4-122-272-0648 (Unit 112), 92-4-122-272-0649 (Unit 113), 92-4-122-272-0650 (Unit 114), 92-4-122-272-0651 (Unit 121), 92-4-122-272-0652 (Unit 122), 92-4-122-272-0653 (Unit 123), 92-4-122-272-0654 (Unit 124), 92-4-122-272-0655 (Unit 131), 92-4-122-272-0656 (Unit 132), 92-4-122-272-0657 (Unit 133), 92-4-122-272-0658 (Unit 134), 92-4-122-272-0659 (Unit 141), 92-4-122-272-0660 (Unit 142), 92-4-122-272-0661 (Unit 143), 92-4-122-272-0662 (Unit 144), 92-4-122-272-0663 (Unit 151), 92-4-122-272-0664 (Unit 152), 92-4-122-272-0665 (Unit 153), 92-4-122-272-0666 (Unit 154).

Address: Situated on 105th St.

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ALTA Owner's Policy (06/17/2006)











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KENOSHA | APPLETON | WAUSAU

**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
**P. 262.513.0666**

CLIENT:



CLIENT ADDRESS:  
501 75TH STREET, SUITE H  
MENOSHA, WI 53142

PROJECT:  
**GREEN BAY TRAIL  
CONDOMINIUMS**

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN



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Milwaukee Area (262) 432-7910  
Hearing Impaired TDD (800) 542-2289  
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PLAN MODIFICATIONS:

Design/Drawn:	PSM
Approved:	RWI
CONCEPTUAL PLAN SUBMITTAL	12-10-18
SHEET TITLE:	

## OVERALL GRADING PLAN

SHEET NUMBER:

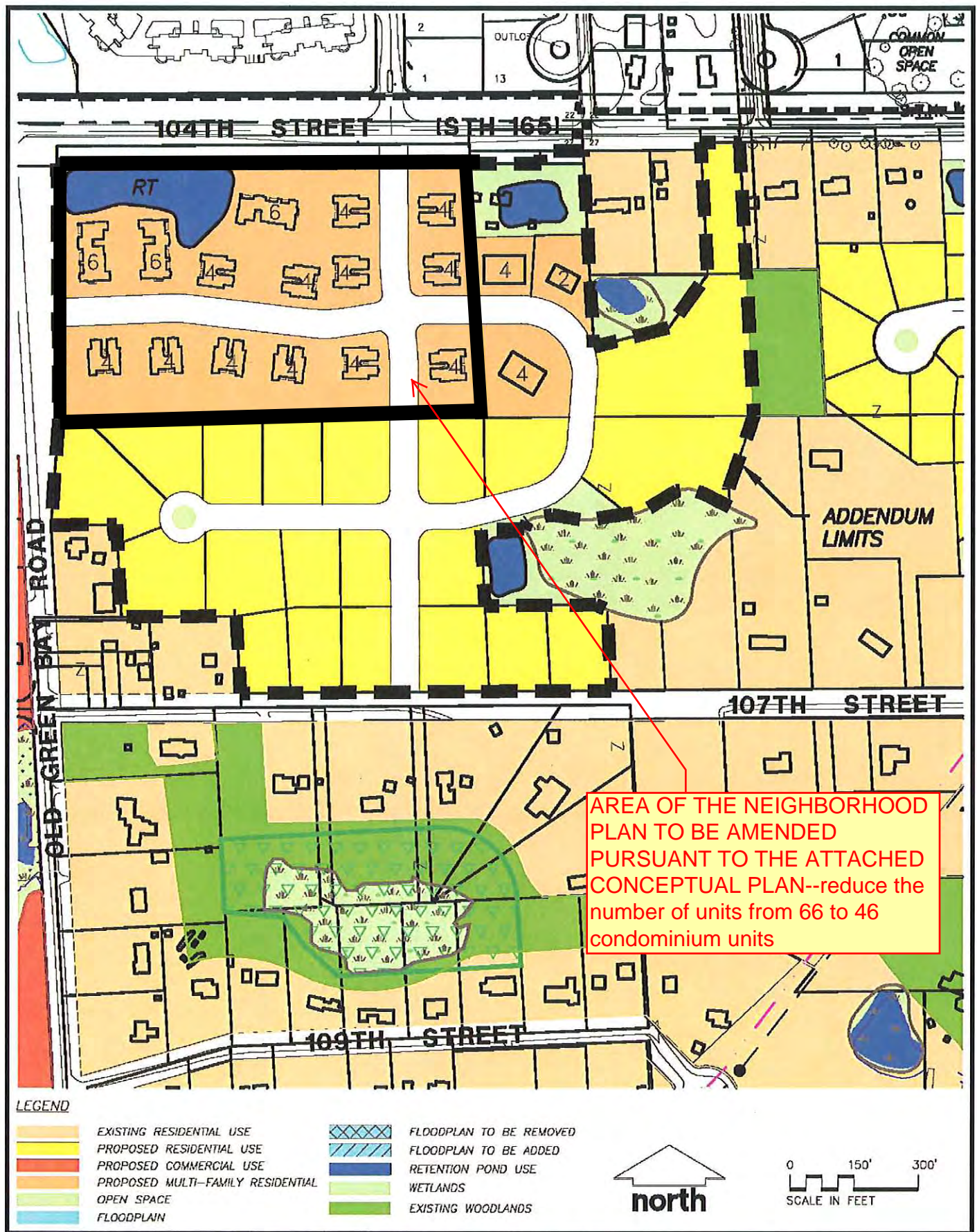
## C2.0

SD PROJECT NO: 18-8835

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# Existing Portion of the Neighborhood Plan







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DEC 10 2018

## CONCEPTUAL PLAN APPLICATION

PLEASANT PRAIRIE

Development Name: Green Bay Trail Condominium  
General Location of Development: Southeast corner of Hwy 165 & Old Green Bay Road  
Tax Parcel Number(s): See Attached  
Number of Lots: 4 lots Number of Outlots: 0  
Size of Development: 14 acres acres

### Select All that Apply:

- ☒ The Development will be constructed in \_\_\_\_\_ phase(s)
- ☒ The Development abuts or adjoins State Trunk Highway Hwy 165
- ☐ The Development abuts or adjoins County Trunk Highway \_\_\_\_\_
- ☐ The Development abuts the Kenosha County Bike Trail

The following number and types of plans shall be submitted with this application:

- ☒ Three (3) full size and a PDF copy of the Conceptual Plan, which shall include at a minimum:
  - ☐ Detailed and Dimensioned Site Plan
  - ☐ Conceptual Engineering Plans
  - ☐ Phasing Plan (if applicable)
  - ☐ Floor Plans and Elevations (for all uses except single family)
  - ☐ Proposed Zoning District Change(s)
- ☒ Application Fee
- ☒ Draft of Declarations, Covenants, Restrictions and any Easement Documents
- ☐ Any other information as specified by the Village

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

### PROPERTY OWNER:

Print Name: Dustin Harpe  
Signature: [Signature]  
Address: 8501 75th St, Suite H  
Kenosha 53412 WI  
(City) (State) (Zip)  
Phone: 262-694-1677  
Fax: \_\_\_\_\_  
Email: sales@harpedevelopment.com  
Date: 12-10-2018

### APPLICANT/AGENT:

Print Name: Nancy Washburn  
Signature: [Signature]  
Address: 7450 county Line Rd  
Mt. Pleasant 53403 WI  
(City) (State) (Zip)  
Phone: 262-818-1836  
Fax: \_\_\_\_\_  
Email: nancylynnwashburn@gmail.com  
Date: 12-10-2018

Community Development Department, 9915 39<sup>th</sup> Avenue, Pleasant Prairie WI 53158

262-925-6717



## EXHIBIT "A"

### Legal Description

Units 11 through 16 in Building 1, Units 21 through 26 in Building 2, Units 31 through 34 in Building 3, Units 41 through 46 in Building 4, Units 51 through 54 in Building 5, Units 61 through 64 in Building 6, Units 71 through 74 in Building 7, Units 81 through 84 in Building 8, Units 91 through 94 in Building 9, Units 101 through 104 in Building 10, Units 111 through 114 in Building 11, Units 121 through 124 in Building 12, Units 131 through 134 in Building 13, Units 141 through 144 in Building 14, Units 151 through 154 in Building 15, together with said units' undivided interest in the common elements (and the exclusive use of the limited common elements appurtenant to said unit) all in Vintage Parc Condominium, a condominium declared and existing under and by virtue of the Condominium Ownership Act of the State of Wisconsin and recorded by a Declaration as such condominium in the Office of the Register of Deeds for Kenosha County, Wisconsin, on June 22, 2007, as Document No. 1525029, said condominium being located in the Village of Pleasant Prairie, County of Kenosha, State of Wisconsin on the real estate described in said Declaration and incorporated herein by this reference thereto.

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Address: Situated on 105th St.

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December 10, 2018

Ms. Jean Werbie-Harris  
Community development Director  
Village of Pleasant Prairie  
9915 39<sup>th</sup> Avenue  
Pleasant Prairie, WI 53158

RECEIVED

DEC 10 2018

PLEASANT PRAIRIE

Re: Green Bay Trail

Dear Ms. Werbie-Harris:

Dustin Harpe and Harpe Development are pleased to be submitting for your review and consideration the new Green Bay Trail Condominium project. Based on our preliminary meetings with you, our first two steps are the Concept Plan and Comprehensive Land Use Plan Amendment.

This new project, Green Bay Trail, will replace the original Vintage Parc and now consists of 46 condominium style units. There are 14 two-unit condominiums and 6 three-unit buildings for a total of 46 units on the site. The engineer, Rizal from JSD Professional Services has worked to efficiently use the utilities installed, analyzed the storm water management features.

Attached please find:

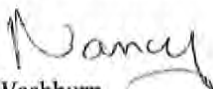
- 1) Concept Plan Application – 3 copies & a check for \$825.00
- 2) Concept Elevations – small set enclosed. Full size copies being dropped off by JSD tomorrow
- 3) Comprehensive Plan Amendment application – 3 copies & a check for \$250.00
- 4) Condominium Declaration – 3 copies
- 5) Condominium By-Laws – 3 copies

Being submitted under separate cover by JSD Professional Services will be the Concept Site plan & Building elevations.

Wetlands have been delineated by Dave Meyer. Those that appeared are in the existing pond and drainage ways and will be considered and permitted by the DNR under the wetland exemption based on prior disturbance.

We appreciate all the time you have spent with us bringing this together and look forward to your review and comment.

Respectfully submitted,

  
Nancy Washburn  
Land Development Administration, SP  
As Agent



C0.0	TITLE SHEET
SITE CIVIL	
C1.0	OVERALL PAVEMENT ID AND DIMENSION PLAN
C2.0	OVERALL GRADING PLAN
C3.0	OVERALL UTILITY PLAN
CUSTOM DUPLEX BUILDING	
1 OF 4	BUILDING ELEVATION PLAN
2 OF 4	BUILDING ELEVATION PLAN
3 OF 4	BUILDING FOUNDATION PLAN
4 OF 4	BUILDING FIRST FLOOR PLAN
3-FAMILY CONDO BUILDING	
1 OF 5	BUILDING ELEVATION PLAN
2 OF 5	BUILDING ELEVATION PLAN
3 OF 5	BUILDING FOUNDATION PLAN
4 OF 5	BUILDING FIRST FLOOR PLAN
5 OF 5	BUILDING SECOND FLOOR PLAN

## SITE DATA



**JSD**  
**Professional Services, Inc.**  
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**MILWAUKEE REGIONAL OFFICE**  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
**P. 262.513.0666**

CLIENT:



CLIENT ADDRESS:  
501 75TH STREET, SUITE H  
MENOSHA, WI 53142

PROJECT:  
**GREEN BAY TRAIL  
CONDOMINIUMS**

PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN



Call 811 or (800) 242-8511

waukee Area (262) 432-7910

ng Impaired TDD (800) 542-2289

**DiggersHotline.com**

PLAN MODIFICATIONS:

[illegible]

Design/Drawn: PSM

Approved:	RWI
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CONCEPTUAL PLAN SUBMITTAL	12-10-18
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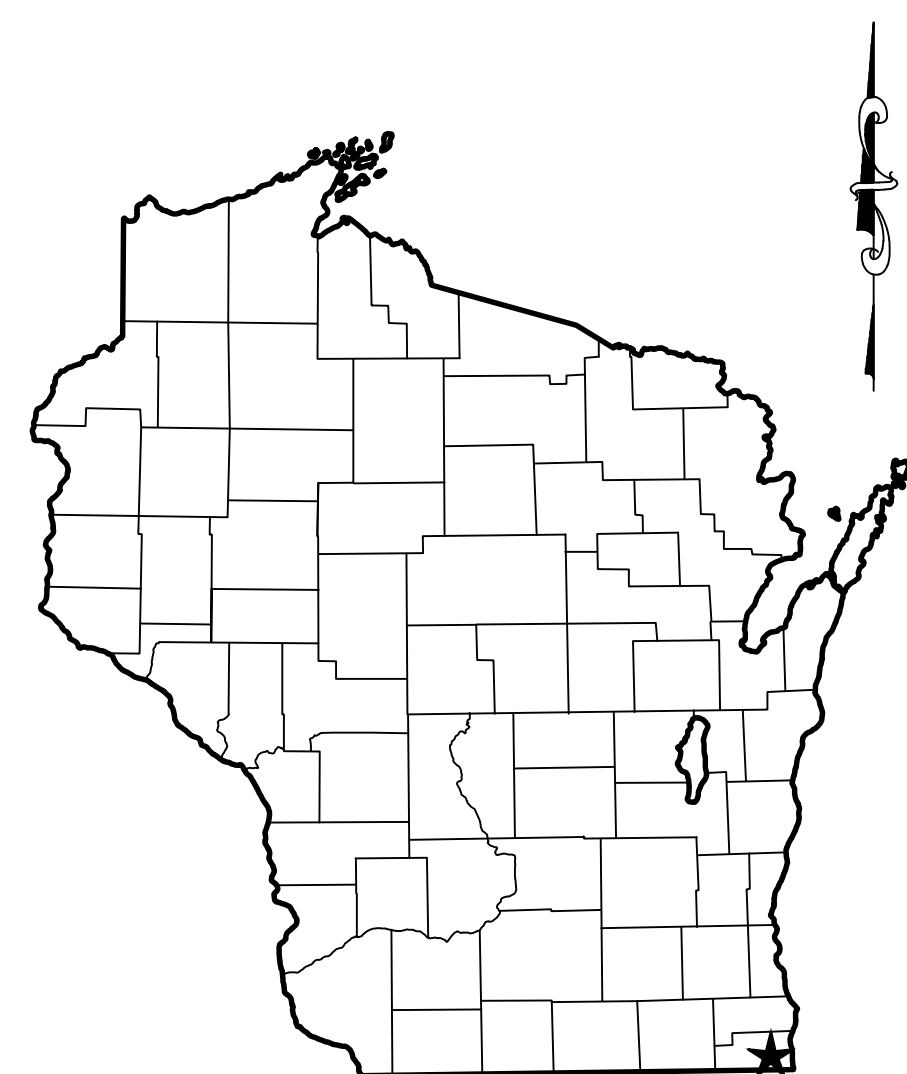
SHEET TITLE: \_\_\_\_\_

# TITLE SHEET

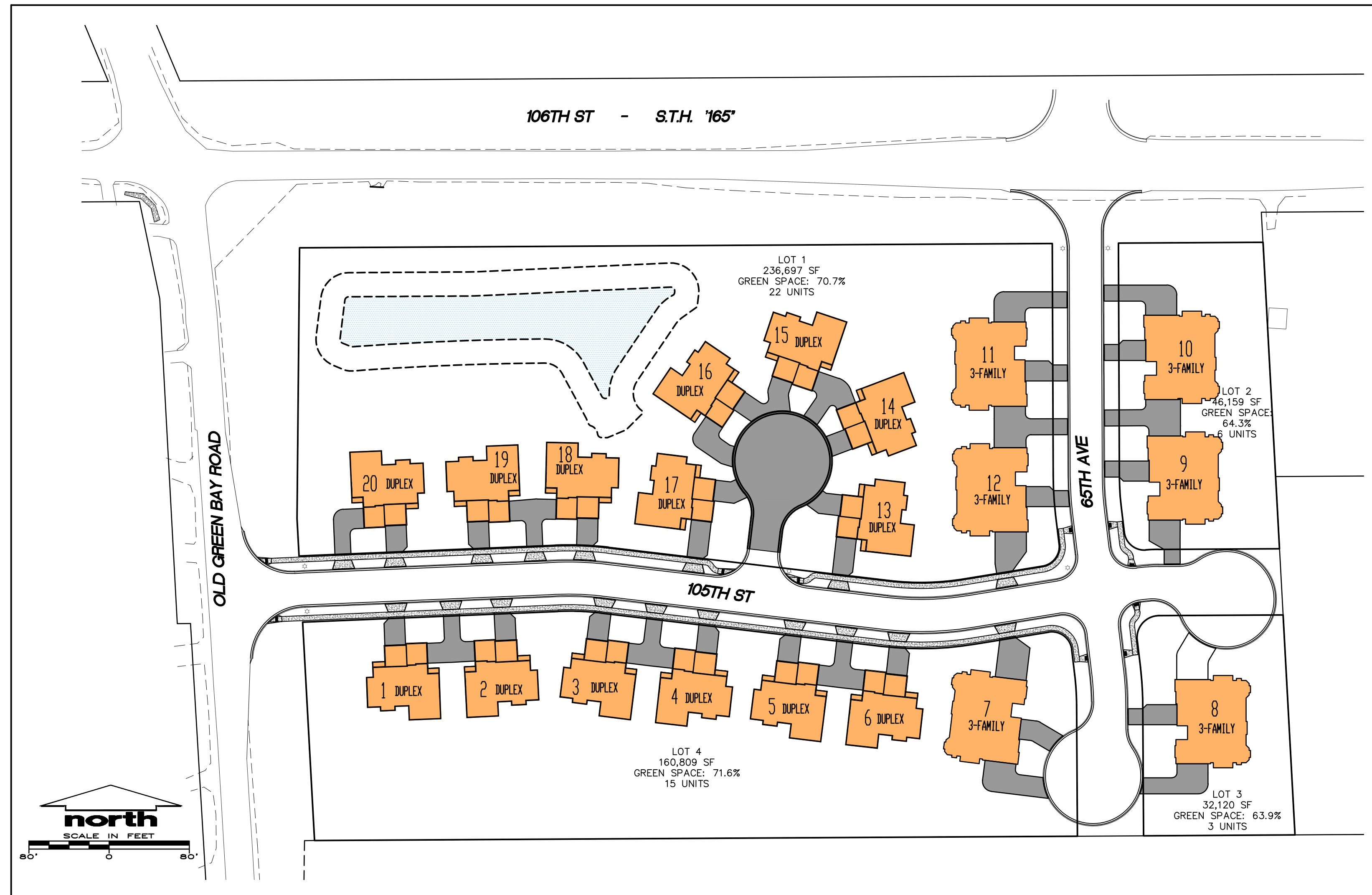
SHEET NUMBER:

# CO.0

SD PROJECT NO: 18-8835



## SITE MAP



SITE BENCHMARK:

BM 1 - NE FLANGE BOLT ON FIRST HYDRANT EAST OF  
INTERSECTION BETWEEN STH 165 & OLD GREEN BAY  
RD. NORTH SIDE OF STH 165.  
ELEVATION = 733.54

BM 2 - RAILROAD SPIKE ON THE SOUTH SIDE OF THE 5TH  
POWER POLE EAST OF INTERSECTION BETWEEN STH  
165 & OLD GREEN BAY RD. NORTH SIDE OF STH 165.  
ELEVATION = 741.51

COMMUNITY DEVELOPMENT DEPARTMENT  
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EMAIL: riz@jsdinc.com



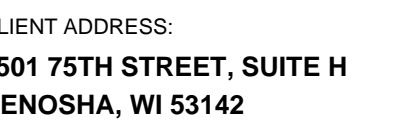






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KENOSHA | APPLETON | WAUSAU

CLIENT:



PROJECT LOCATION:  
VILLAGE OF PLEASANT PRAIRIE  
KENOSHA COUNTY, WISCONSIN



PLAN MODIFICATIONS:

Design/Drawn:	PSM
Approved:	RWI
CONCEPTUAL PLAN SUBMITTAL	12-10-18
SHEET TITLE:	

SHEET NUMBER:

## C2.0

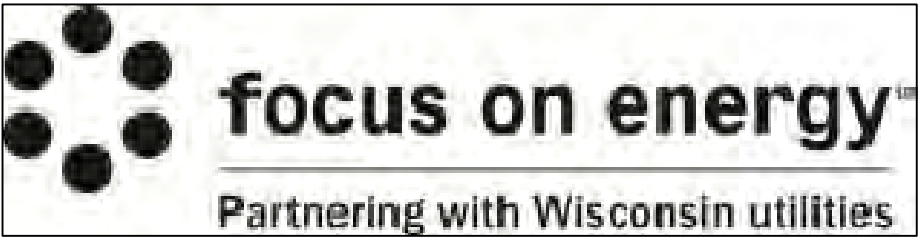
SD PROJECT NO: 18-8835

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FOCUS N ENERGY NOTES:

- HOME MUST BE MINIMUM 10% MORE EFFICIENT THAN THE SAME HOME DESIGNED TO CURRENT UNIFORM DWELLING CODE STANDARDS
- AIR TIGHTNESS (.20 TOTAL BUILDING SHELL AREA IN SQ. FT.)
- SEALED SUMP BASIN/CROCK
- SEALED PLUMBING ROUGH-IN THROUGH BASEMENT FLOOR (MUST BE AIR TIGHT)
- FULL COVERAGE FOUNDATION INSULATION R5 (1" FDM BOARD MIN.)
- WHOLE HOUSE VENTILATION (ASHARE 62-2)(A FAN IN CENTRAL BATH)
- 110 CFM FOR WHOLE HOUSE FAN, w/ 6" METAL DUCT
- 80 CFM IN ANY ADDITIONAL BATHROOMS. 4" METAL DUCT
- WATER HEATER MUST BE POWER VENTED OR CLOSED COMBUSTION WITH EF EQUAL TO OR GREATER THAN .67.
- FURNACE MUST BE CLOSED COMBUSTION, INTAKE AND EXHAUST VENT DIRECTLY TO EXTERIOR OF BUILDING
- FIREPLACE DIRECT VENT/ INTAKE CLOSED COMBUSTION AIR INTAKE CONNECTED DIRECTLY TO EXTERIOR OF BUILDING
- INSULATED AND GASKETED ATTIC ACCESS HATCH IN BUILDING. MUST HAVE A MIN. OF R-20 INSULATION ATTACHED TO BACK OF HATCH AND A FDM GASKET TO FORM AIR SEAL BETWEEN HATCH AND FRAMED OPENING TO HOUSE.

LEGAL NOTE:

THE ATTACHED BLUEPRINTS ARE STRICTLY A REPRESENTATION OF THE PROPOSED STRUCTURE TO BE BUILT; THE ACTUAL STRUCTURE MAY VARY IN APPEARANCE DUE TO THE CONSTRUCTION METHODS USED. THESE PLANS ARE GUARANTEED TO BE TRUE AND ACCURATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND UNDERSTANDING. THE DESIGNER OF THESE PLANS CAN NOT BE HELD RESPONSIBLE FOR ANY MONETARY LOSS INCURRED AS A RESULT OF ANY NEGLIGENT PRACTICES BY OTHERS.

X \_\_\_\_\_ / /  
X \_\_\_\_\_ / /

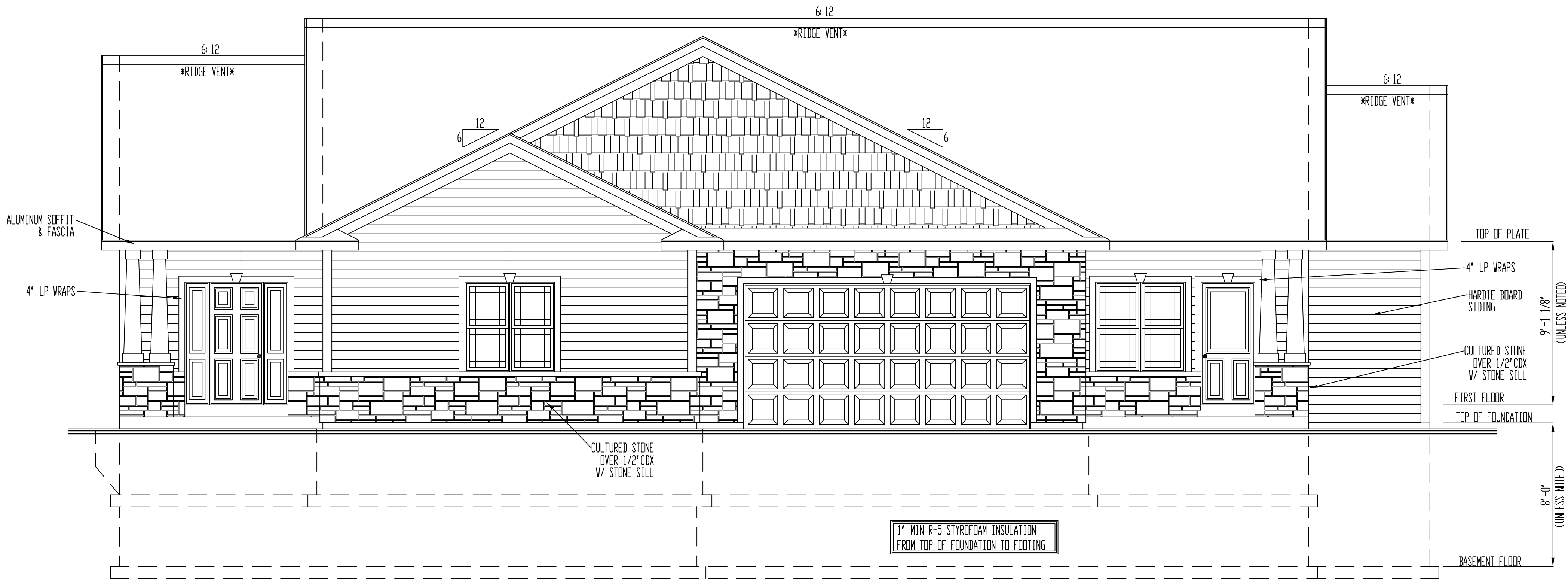
SPECIAL NOTE:

THE BUYER(S) ACKNOWLEDGE THAT IN THE COURSE OF BUILDING, BECAUSE OF JOB CONDITIONS AND DIFFERENT METHODS OF CONSTRUCTION, DEVIATIONS MAY OCCUR FROM THE PRINT. THEREFORE, THE BUILDER RESERVES THE RIGHT TO MAKE SLIGHT MODIFICATIONS TO ROOM SIZES AND PLACEMENT OF MECHANICAL FIXTURES (I.E. HVAC, PLUMBING, ELEC, AND DOWNSPOUTS.)

X \_\_\_\_\_ / /  
X \_\_\_\_\_ / /

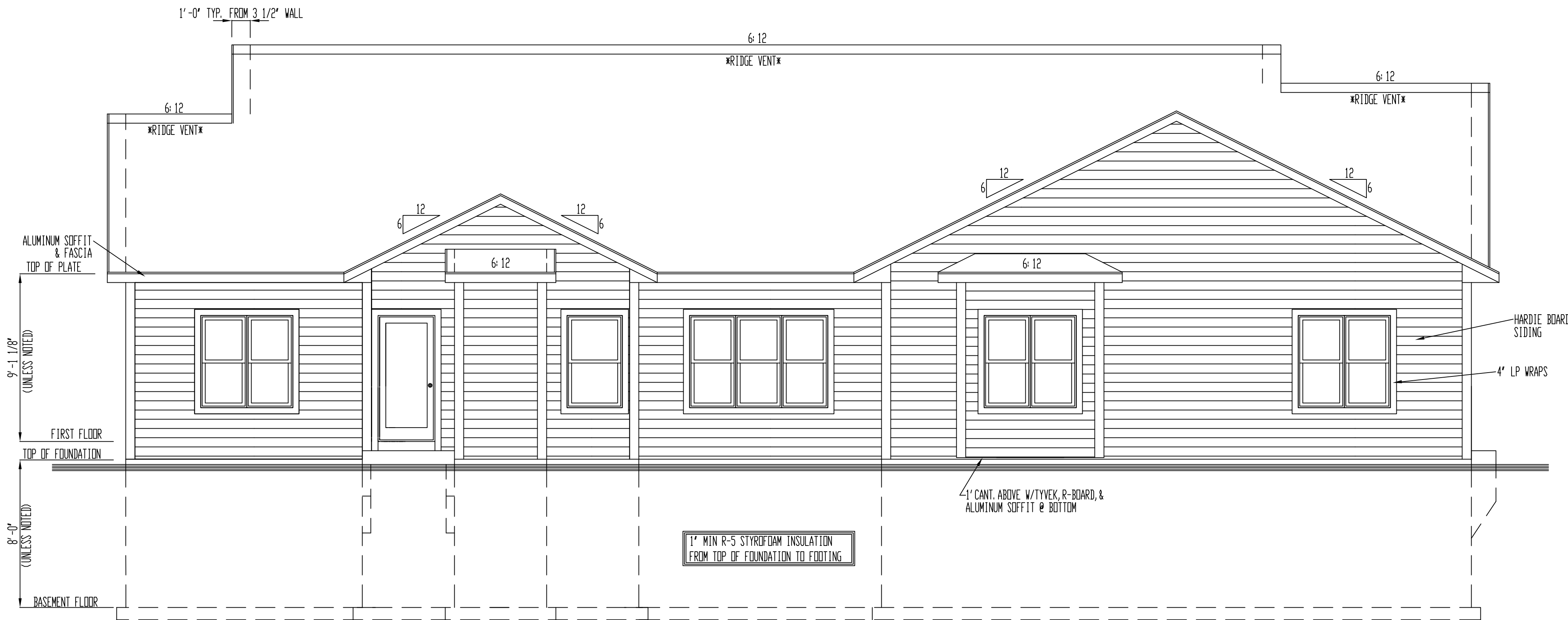
ROUGH CARPENTER NOTE:

- NOTE LOCATION OF TOILET AND R.V. PIPE. DO NOT PLACE FLOOR JOISTS DIRECTLY IN THIS AREA. ALLOW 6" TO THE CENTER ON BOTH SIDES AND 13" FROM THE WALL FOR THE TOILET AND 5" TO THE CENTER ON BOTH SIDES OF THE R.V. PIPE.
- ALL EXTERIOR OPENINGS (WINDOWS, DOORS, ETC.) ON THE FIRST FLOOR ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, UNLESS IT IS OTHERWISE NOTED AS SUCH ON THE PLAN. ALL EXTERIOR OPENINGS ON THE SECOND FLOOR UP TO A 6'0" SPAN ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, ANY (BEARING) OPENING ON FIRST OR SECOND FLOOR OVER 6'0" SPAN ARE TO BE A MINIMUM OF 2-PLY MICROLAM HEADERS AS NOTED PER THE PLAN.
- 1ST FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-30 BATT. INSULATION IN THE CLGS. (WHERE APPLICABLE) R-19 BATT. INSUL. IN BOX SILL, AND 3/4" PRESSURE TREATED PLYWOOD (NO R-BOARD IS TO BE USED ON 1ST FLOOR CANTILEVERS). 2ND FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-19 BATT INSULATION, AND 1/2" R-BOARD PRIOR TO INSTALLATION OF FINISH FACING.
- ALL DIMENSIONS SHOWN ON THE PLAN ARE FOR ROUGH DIMENSIONS, THESE ARE FROM THE FACE OF THE STUD TO THE FACE OF THE STUD.
- ALL INTERIOR HEADERS ON NON-BEARING WALLS ARE TO BE LADDER HEADERS (SEE DETAIL), ALL BEARING WALLS WILL BE NOTED AS TO THE SIZE ON THE PLAN.
- METAL WINDBRACING IS TO BE USED AT ALL EXTERIOR CORNERS WHERE SUITABLE, EXCLUDING WHERE OSB IS SUBSTITUTED, R-BOARD IS TO BE INSTALLED ON REMAINING WALLS.
- 7/16" O.S.B. IS TO BE USED ONLY ON GARAGE EXTERIOR WALLS, ALL GABLE ENDS, FIREPLACE CHASES AND ALL HANGING WINDOW BOXES, NAILED W/ 8/CC 8" TO 10" O.C.
- ALL HEADERS (INTERIOR BEARING AND ALL EXTERIOR) ARE TO BE NAILED WITH 16D NAILS AT 16" O.C. STAGGERED ON EACH SIDE. (ALL MICROLAM HEADERS ARE TO BE NAILED W/ 16D NAILS @ 12" O.C. STAGGERED ON EACH SIDE AND GLUED).



FRONT ELEVATION

SCALE: 1/4" = 1' - 0" TWO UNIT BUILDING



REAR ELEVATION

SCALE: 1/4" = 1' - 0"

RESIDENCE CUSTOM DESIGNED FOR:

GREEN BAY TRAIL  
CUSTOM DUPLEX  
PLEASANT PRAIRIE, WI

8501 75th St., Suite H

Kenosha, WI 53142

O: 262-694-1677

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REVISIONS:

DRAWN BY:	P. A.	SHEET:	1
DATE:	12/10/18	OF	4
SCALE:	1/4" = 1' - 0"		

\*\*ALLIANCE SINGLE-HUNG WINDOWS\*\*  
 \*DRYWALL RETURNS W/ WOOD SILLS\*

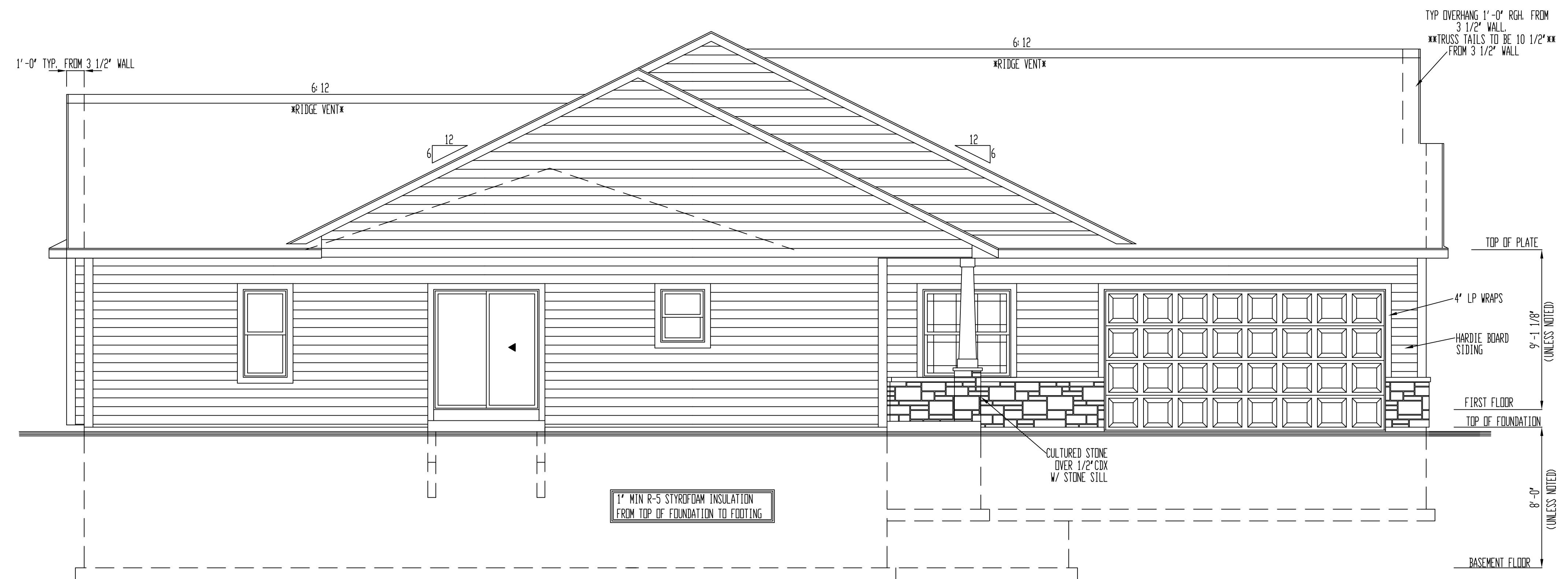
##R-50 BLOWN-IN ATTIC INSULATION##

\*9' HIGH WALLS- UNLESS NOTED\*

##CONTINUOUS RIDGE VENT (PER PLAN)##

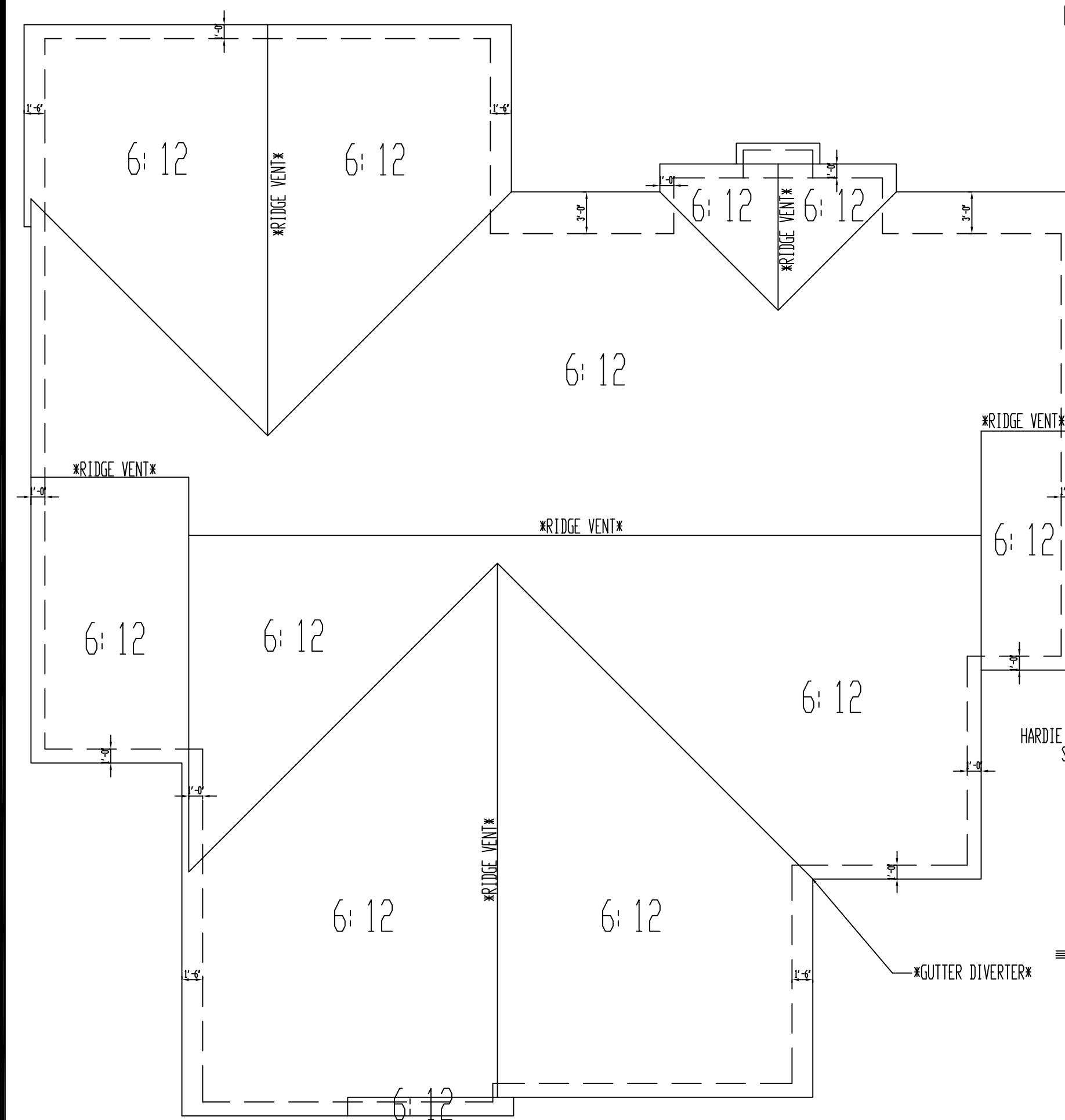
==ARCHITECTURAL ROOF W/ METAL VALLEYS==

\*\*ICE & WATER BARRIER IN ALL VALLEYS,  
 EAVES AND ROOF TO WALL AREAS\*\*



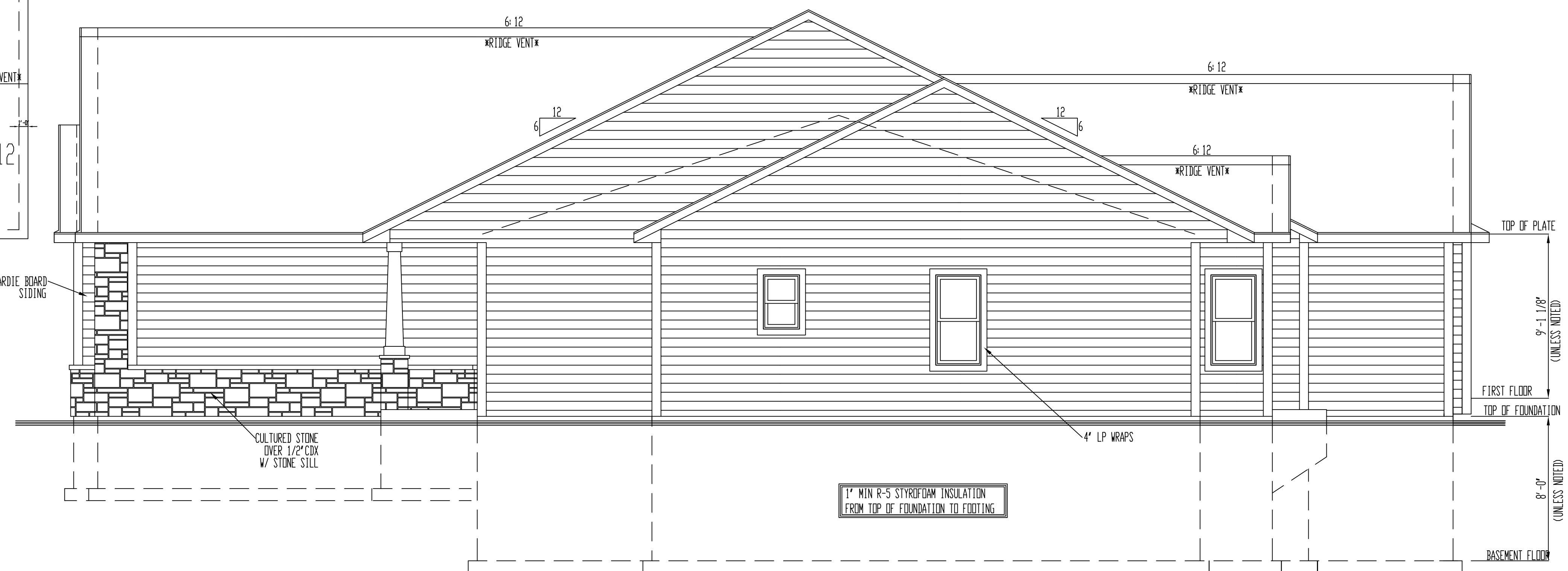
LEFT ELEVATION

SCALE: 1/4"=1'-0"



# ROOF PLAN

SCALE: 1/8"=1'-0"



RIGHT ELEVATION

SCALE:  $1/4'' = 1' - 0''$

RESIDENCE CUSTOM DESIGNED FOR:

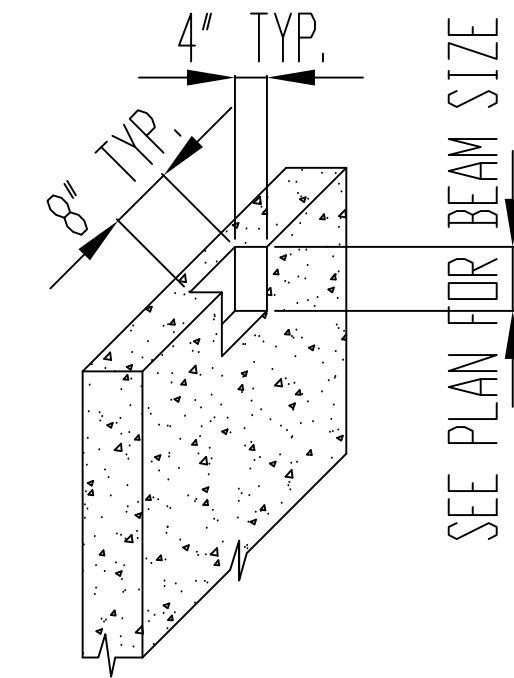
**8501 75th St., Suite H  
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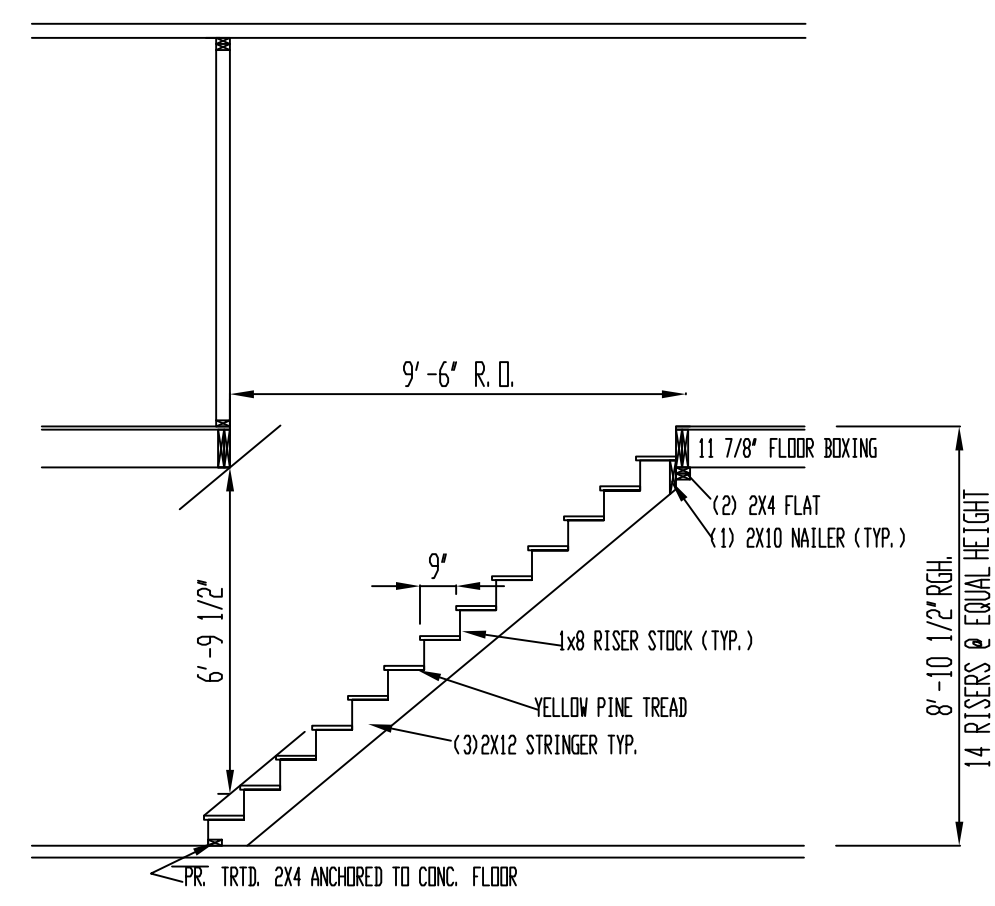
REVISIONS:

DRAWN BY: P. A.	SHEET: 2 OF 4
DATE:	
SCALE: 1/4" = 1' - 0"	

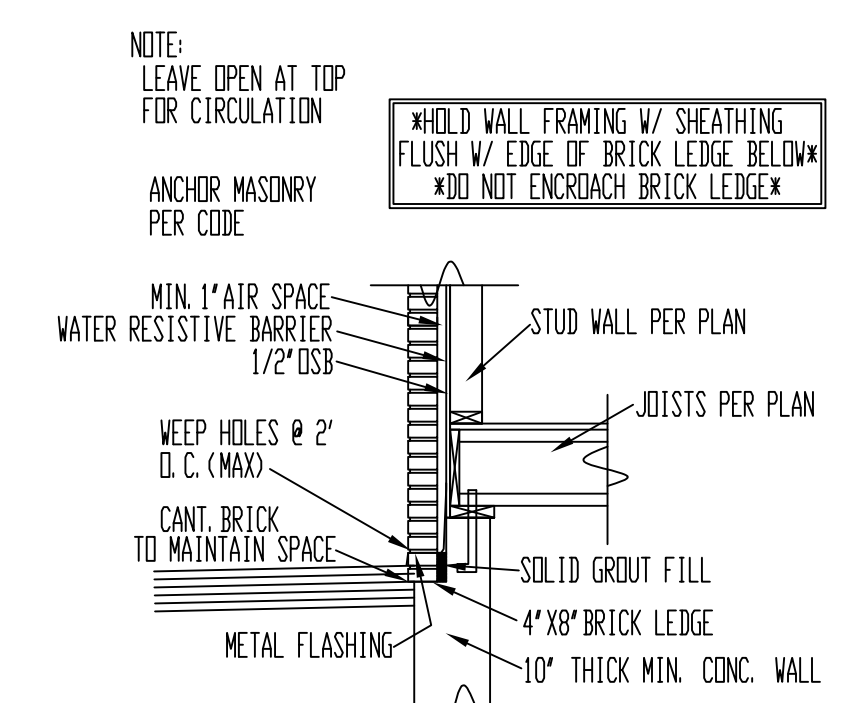




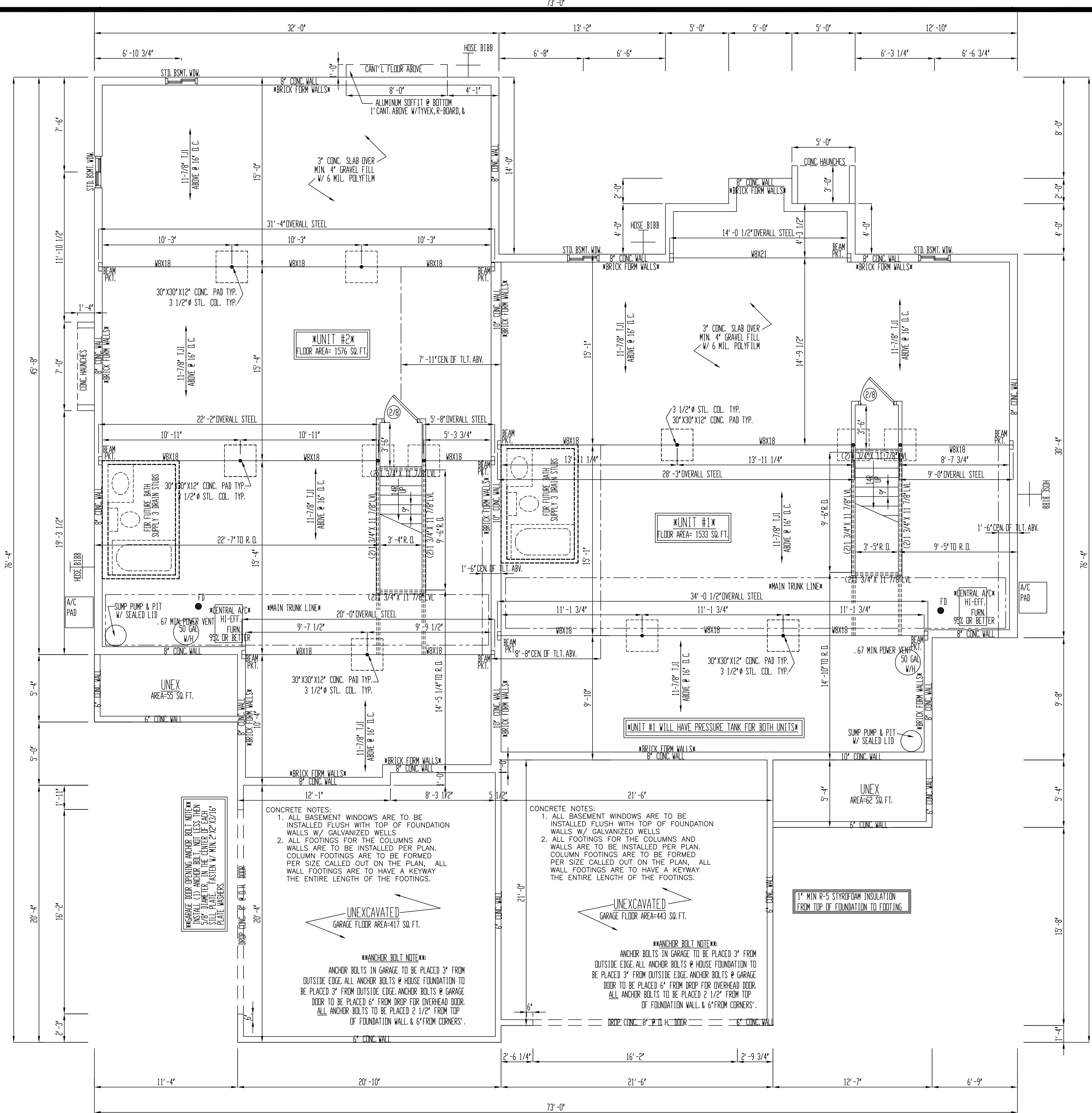
BEAM POCKET DETAIL  
SCALE: 1/2"=1'-0"



STAIR SECTION  
SCALE: 1/4"=1'-0"



BRICK LEDGE DETAIL  
SCALE: 1/2"=1'-0"



FOUNDATION PLAN

SCALE: 1/4"=1'-0"

\*8' HIGH WALLS- UNLESS NOTED\*

\*CARPENTERS: PLEASE NOTE LOCATIONS OF CENTERLINES  
FOR PLUMBING & ALLOW 3" MIN. OF SPACE\*

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DATE:	
SCALE: 1/4"=1'-0"	

RESIDENCE CUSTOM DESIGNED FOR:



**\*\*HOUSEWRAP ENTIRE BUILDING\*\***

**\*\*ALLIANCE SINGLE-HUNG WINDOWS\*\***  
\*DRYWALL RETURNS W/ WOOD SILLS\*

**\*9' HIGH WALLS- UNLESS NOTED\***

**\*\*R-50 BLOW-IN ATTIC INSULATION\*\***

**\*\*ARCHITECTURAL ROOF W/ METAL VALLEYS\*\***

2X STUDS  
BATT INSULATION  
1/2" SHEATHING  
4 MIL. POLYFILM  
1/2" DRYWALL  
EXTERIOR CORNER DETAIL  
SCALE: 1/2"=1'-0"

BATT INSULATION  
2X STUDS  
1/2" SHEATHING  
LADDER BETWEEN STUDS FOR CONN.  
(MAX. 24" O.C.)  
4 MIL. POLYFILM  
1/2" DRYWALL  
EXTERIOR T-WALL DETAIL  
SCALE: 1/2"=1'-0"

2X4 DOUBLE TOP PLATE  
SEE SIDE VIEW  
160 NAILS  
CRIPPLE STUDS  
BEARING HEADER SECTION

NOTE: 9 1/2" AND 11 7/8" MICROLAGS TO HAVE TWO (2) ROWS OF 160 NAILS  
14", 16", AND 18" MICROLAGS TO HAVE THREE (3) ROWS OF 160 NAILS  
\*STAGGER NAILING PATTERN ON OPPOSITE SIDE OF HEADER\*

HEADER SIDE VIEW

HEADER DETAIL  
NOT TO SCALE.

NOTE: LEAVE OPEN AT TOP FOR CIRCULATION  
ANCHOR MASONRY PER CODE  
MIN. 1" AIR SPACE  
WATER RESISTIVE BARRIER  
1/2" OSB  
STUD WALL PER PLAN  
JOISTS PER PLAN  
WEEP HOLES @ 2' O.C. (MAX.)  
CANT. BRICK TO MAINTAIN SPACE  
SOLID GROUT FILL  
4"X8" BRICK LEDGE  
10" THICK MIN. CONC. WALL  
METAL FLASHING  
BRICK LEDGE DETAIL  
SCALE: 1/2"=1'-0"

\*ICE & WATER IN ALL VALLEYS AND EAVES\*

LIMITED LIFETIME SHINGLES  
SYNTHETIC UNDERLAYMENT  
1/2" O.S.B. ROOF DECK W/ H-CLIPS  
TRUSSES BY MFG.  
@ 24" O.C.  
SEE ELEV. 12

VENT TUBES @ 48" O.C.  
ALUMINUM GUTTERS & DOWNSPOUTS  
2"X6" SUB FASCIA  
ALUMINUM SOFFIT & FASCIA  
SOFFIT VENTS PER CODE  
EXTERIOR WALL CONSTRUCTION  
7/16" OSB (WHERE REQUIRED)  
1/2" CDX IN CULTURED STONE AREAS  
HARDIE BOARD SIDING  
1" RIGID INSULATION  
2X4 STUDS @ 16" O.C.  
R-13 BATT INSULATION  
4 MIL. POLYFILM  
1/2" DRYWALL  
8" POURED CONC. WALL  
12" MIN. STONE PER VISC. CODE  
3" #4 DRAIN TILE W/ BLEEDERS @ 8'-0" O.C. CONT. EXTERNAL & INTERNAL  
18 X 8 CONC. FOOTING W/ CONT. KEYWAY  
2X6 PR. TRTD. SILL PLATE ANCHORED W/ 1/2" ANCHOR BOLTS @ 72" O.C.  
R-21 SPRAY-FOAM  
1" MIN. R-5 STYROFOAM INSULATION GLUED & SCREWED DOWN  
-1/4" LUAN UNDER VINYL ONLY  
11 7/8" FLOOR JOISTS @ 16" O.C.  
R-50 BLOW-IN INSULATION  
5/8" F.C. DRYWALL  
2X4 SOFFIT MAILER  
9'-1 1/8"

TYPICAL SECTION  
SCALE: 1/4"=1'-0"

\*15' X 12' CONC. PATIO\*

77'-4"

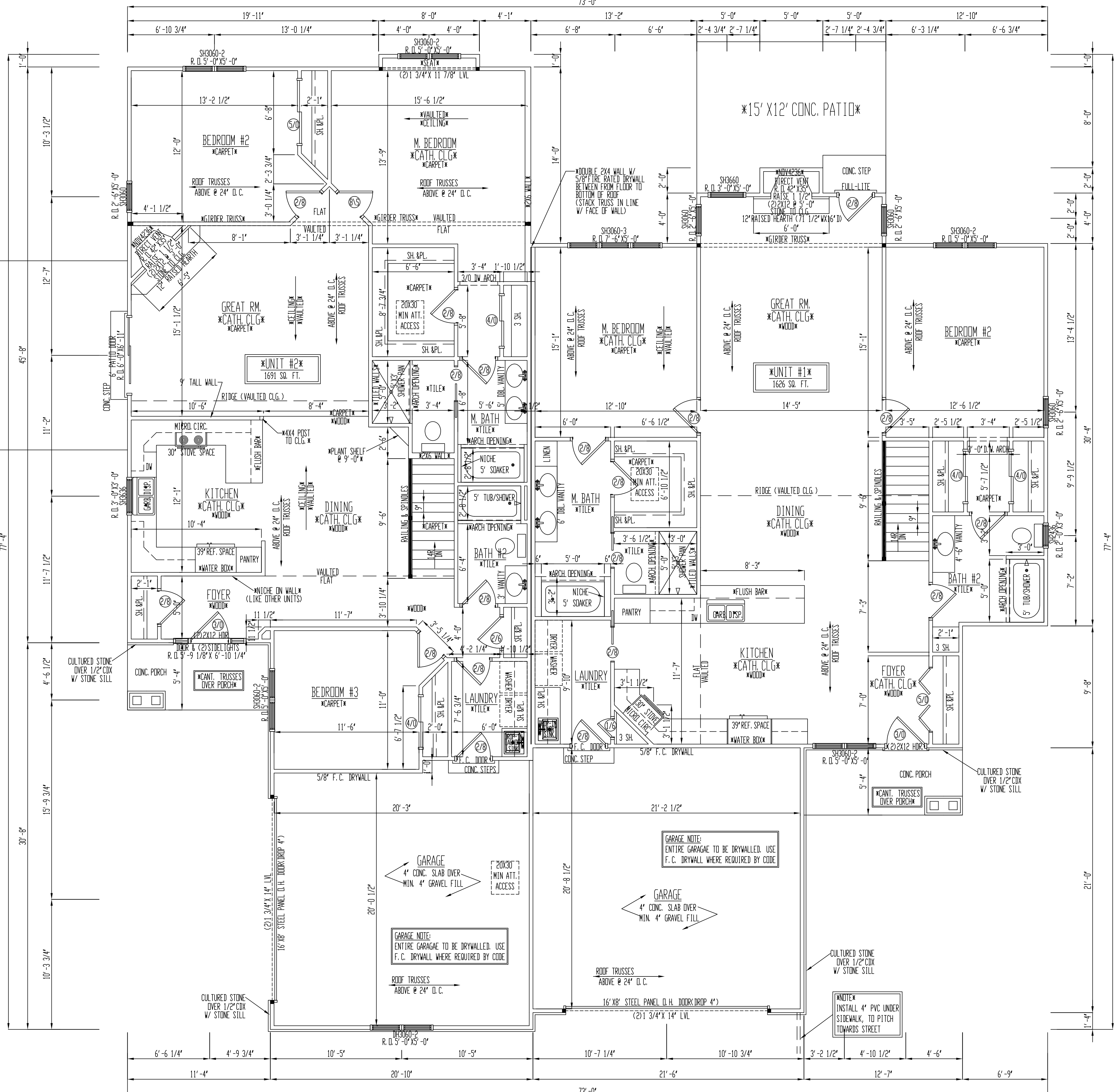
4'-6 1/2"

15'-9 3/4"

30'-8"

10'-3 3/4"

10'-3 1/2"



FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

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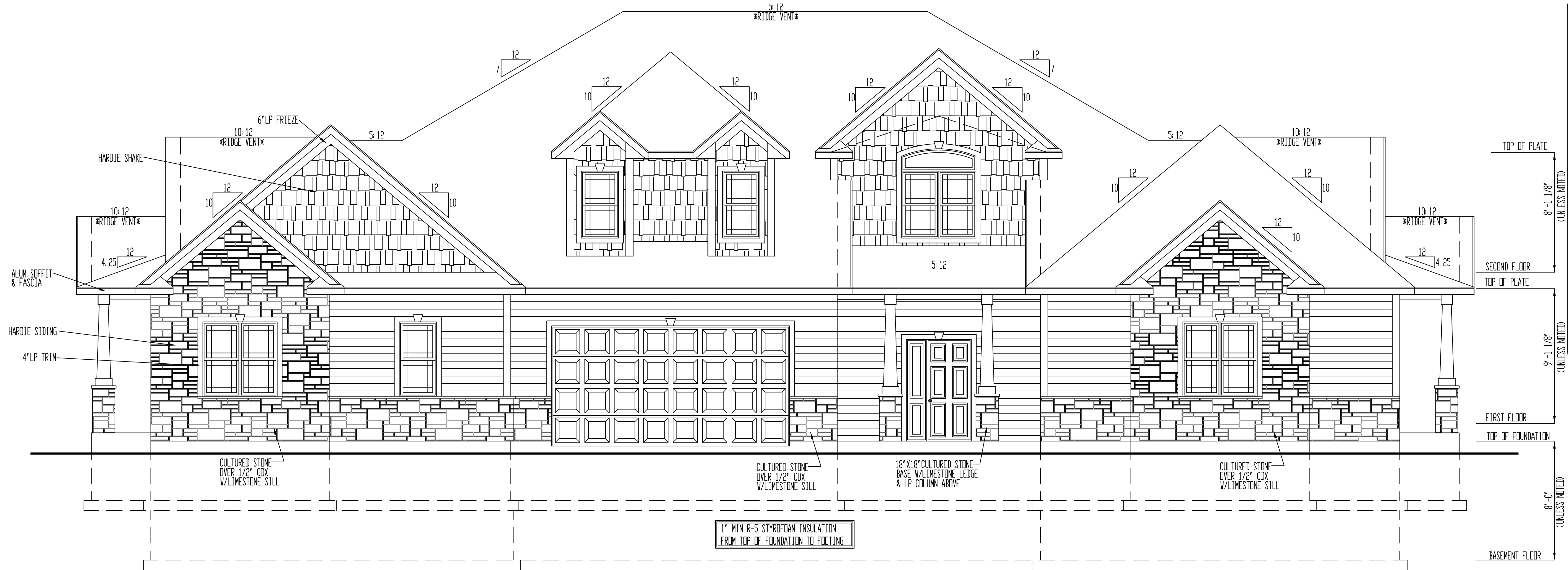
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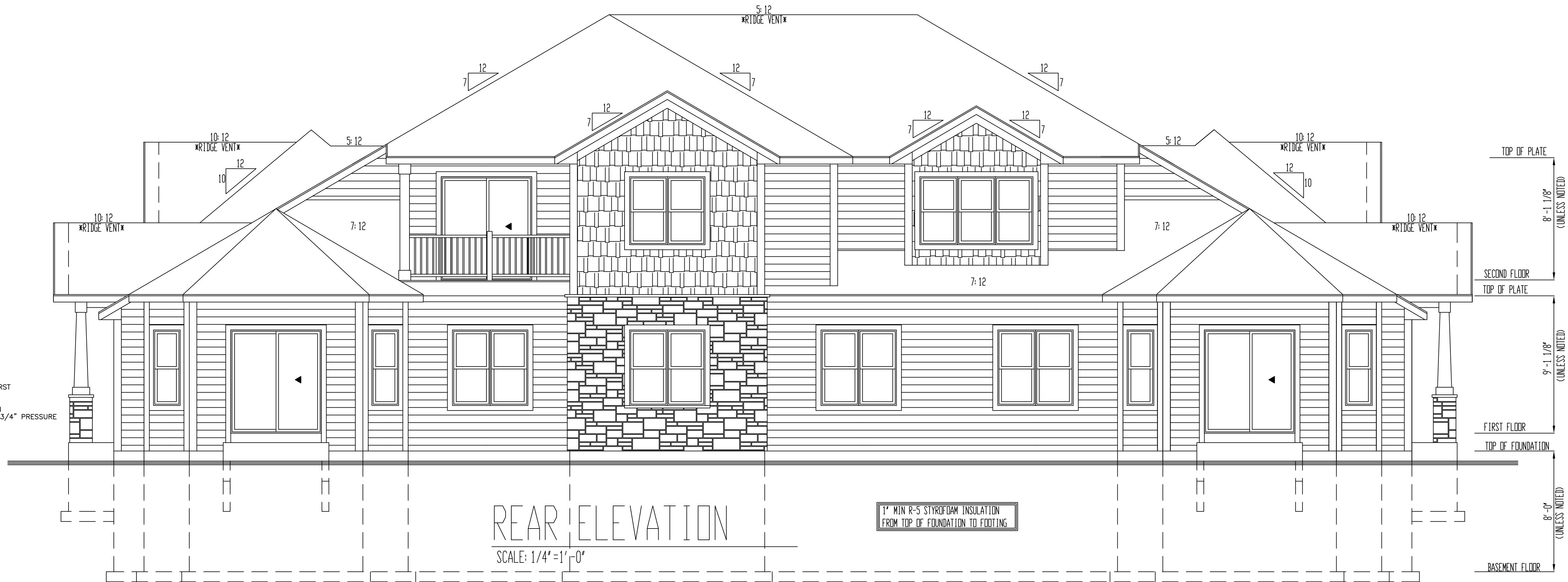
DRAWN BY: P. A.  
DATE: 4  
SCALE: 1/4"=1'-0"  
SHEET: 4 OF 4



LEGAL NOTE:



FRONT ELEVATION  
SCALE: 1/4"=1'-0" THREE UNIT BUILDING



REAR ELEVATION  
SCALE: 1/4"=1'-0"

- ROUGH CARPENTER NOTE:
1. NOTE LOCATION OF TOILET AND R.V. PIPE. DO NOT PLACE FLOOR JOISTS DIRECTLY IN THIS AREA. ALLOW 6" TO THE CENTER ON BOTH SIDES AND 13" FROM THE WALL FOR THE TOILET AND 5" TO THE CENTER ON BOTH SIDES OF THE R.V. PIPE.
  2. ALL EXTERIOR OPENINGS (WINDOWS, DOORS, ETC.) ON THE FIRST FLOOR ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS, UNLESS IT IS OTHERWISE NOTED AS SUCH ON THE PLAN. ALL EXTERIOR OPENINGS ON THE SECOND FLOOR UP TO A 6'0" SPAN ARE TO BE A MINIMUM OF (2) 2"x12" HEADERS. ANY (BEARING) OPENING ON FIRST OR SECOND FLOOR OVER 6'0" SPAN ARE TO BE A MINIMUM OF 2-PLY MICROLAM HEADERS AS NOTED PER THE PLAN.
  3. 1ST FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-30 BATT INSULATION IN THE CLOS. (WHERE APPLICABLE) R-19 BATT INSUL. IN BOX SILL, AND 3/4" PRESSURE TREATED PLYWOOD (NO R-BEARD IS TO BE USED ON 1ST FLOOR CANTILEVERS). 2ND FLOOR CANTILEVERS ARE TO BE INSULATED W/ R-19 BATT INSULATION, AND 1/2" R-BEARD PRIOR TO INSTALLATION OF FINISH FACING.
  4. ALL DIMENSIONS SHOWN ON THE PLAN ARE FOR ROUGH DIMENSIONS, THESE ARE FROM THE FACE OF THE STUD TO THE FACE OF THE STUD.
  5. ALL INTERIOR HEADERS ON NON-BEARING WALLS ARE TO BE (1) 2"x10" HEADER (CENTERED), ALL BEARING WALLS WILL BE NOTED AS TO THE SIZE ON THE PLAN.
  6. METAL WINDBRACING IS TO BE USED AT ALL EXTERIOR CORNERS WHERE SUITABLE, EXCLUDING WHERE OSB IS SUBSTITUTED, R-BEARD IS TO BE INSTALLED ON REMAINING WALLS.
  7. 7/16" O.S.B. IS TO BE USED ONLY ON GARAGE EXTERIOR WALLS, ALL GABLE ENDS, FIREPLACE CHASES AND ALL HANGING WINDOW BOXES NAILED W/ 5/8" O.C. 8" TO 10" O.C.
  8. ALL HEADERS (INTERIOR BEARING AND ALL EXTERIOR) ARE TO BE NAILED WITH 16D NAILS AT 16" O.C. STAGGERED ON EACH SIDE. (ALL MICROLAM HEADERS ARE TO BE NAILED W/ 16D NAILS @ 12" O.C. STAGGERED ON EACH SIDE AND GLUED).

GREEN BAY TRAIL  
3-FAMILY CONDO  
PLEASANT PRAIRIE, WI

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DATE: 12/10/18  
SCALE: 1/4"=1'-0"

SHEET:  
1 OF 5

\*\*R-21 SPRAY FOAM JOIST ENDS\*\*

\*\*ALLIANCE SINGLE-HUNG WINDOWS\*\*  
\*DRYWALL RETURNS W/ WOOD SILLS\*

\*\*HOUSEWRAP ENTIRE BUILDING\*\*

\*\*R-50 BLOW-IN ATTIC INSULATION\*\*

\*9' HIGH WALLS- UNLESS NOTED\*

\*\*CONTINUOUS RIDGE VENT (PER PLAN)\*\*

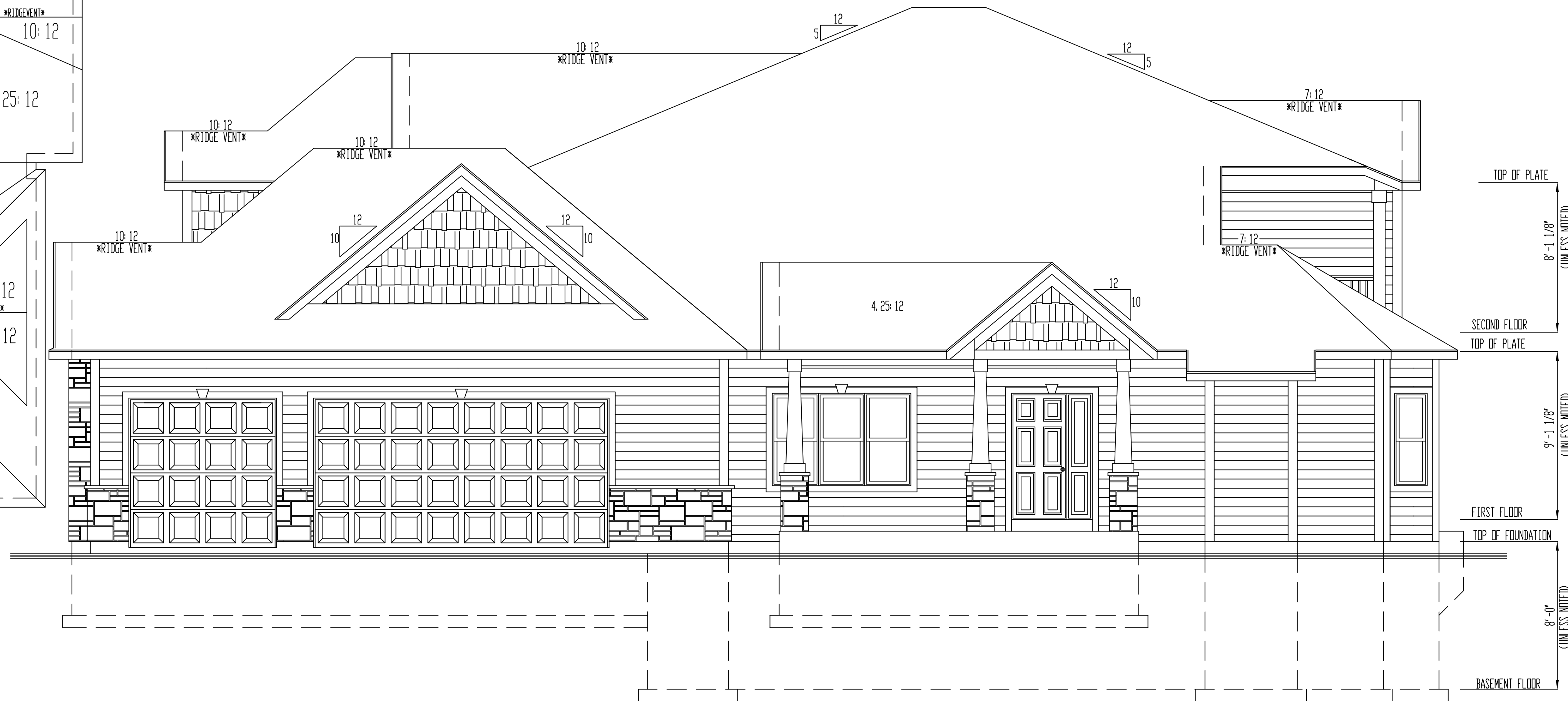
\*\*ARCHITECTURAL ROOF W/ CLOSED VALLEYS\*\*

\*\*ICE & WATER BARRIER IN ALL VALLEYS,  
EAVES AND ROOF TO WALL AREAS\*\*



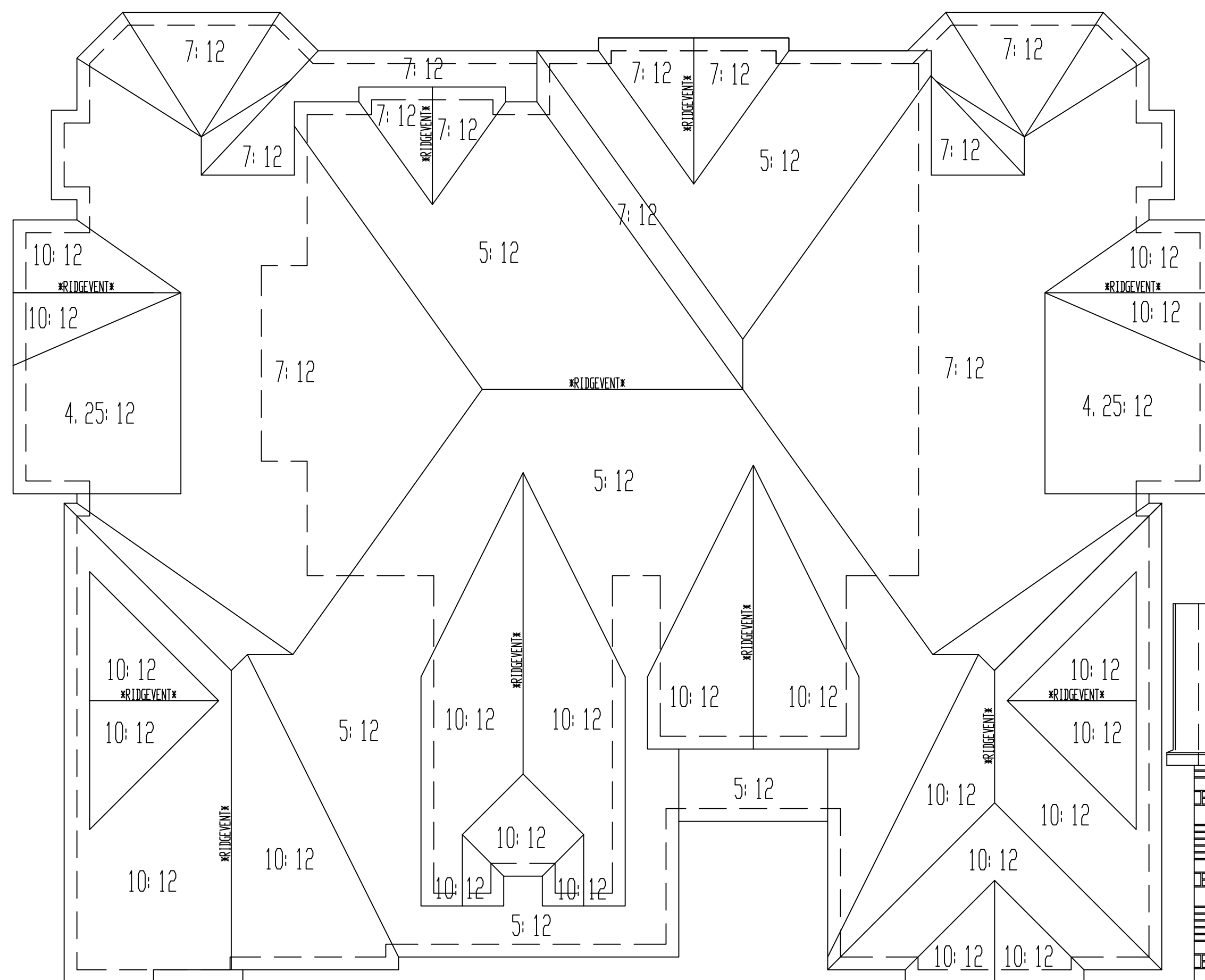
LEFT ELEVATION

SCALE: 1/4" = 1' - 0"



RIGHT ELEVATION

SCALE: 1/4" = 1' - 0"



ROOF PLAN

SCALE: 1/8" = 1' - 0"

ROOF NOTES:  
-ROOF TO BE COMPOSED OF PRE-ENGINEERED  
TRUSSES @ 24" O.C.  
-ALL TRUSS CLIPS AND HANGERS TO BE SUPPLIED  
BY TRUSS MANUFACTURER.  
-ALL CLIPS AND HANGERS TO MEET OR EXCEED  
REQUIREMENTS OF THE WISCONSIN U.D.C.

RESIDENCE CUSTOM DESIGNED FOR:

8501 75th St., Suite H  
Kenosha, WI 53142  
O: 262-694-1677  
www.HarpeDevelopment.com

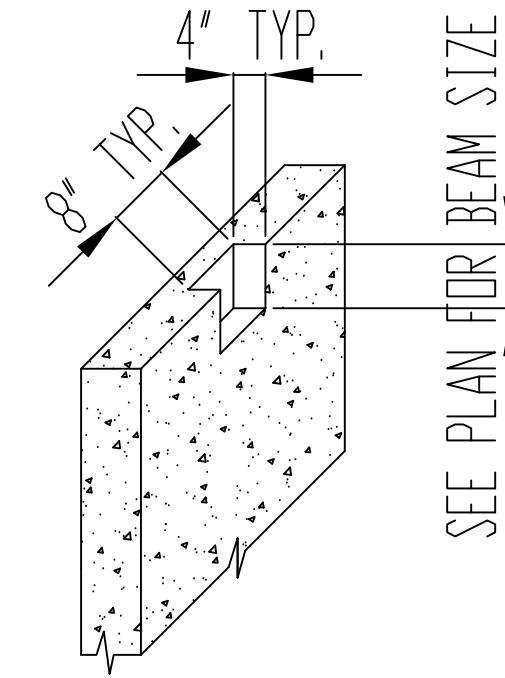
**Harpe**  
**Development** LLC  
Quality Homes  
at a better price!

REVISIONS:

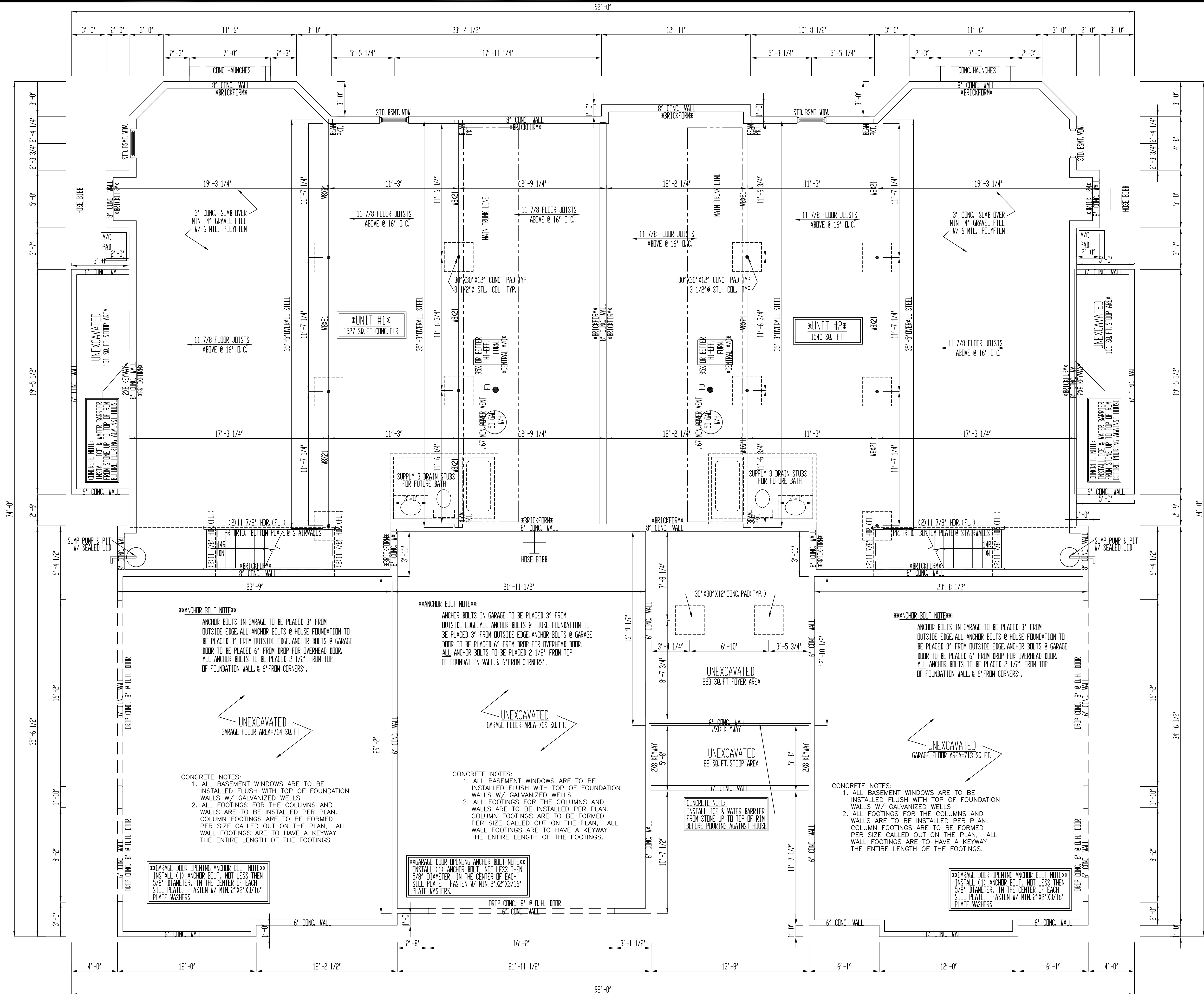
DRAWN BY: P. A.  
DATE:  
SCALE: 1/4" = 1' - 0"

SHEET:  
2





BEAM POCKET DETAIL  
SCALE: 1/2"=1'-0"



FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

\*8' HIGH WALLS- UNLESS NOTED\*

\*CARPENTERS: PLEASE NOTE LOCATIONS OF CENTERLINES  
FOR PLUMBING & ALLOW 3" MIN. OF SPACE\*

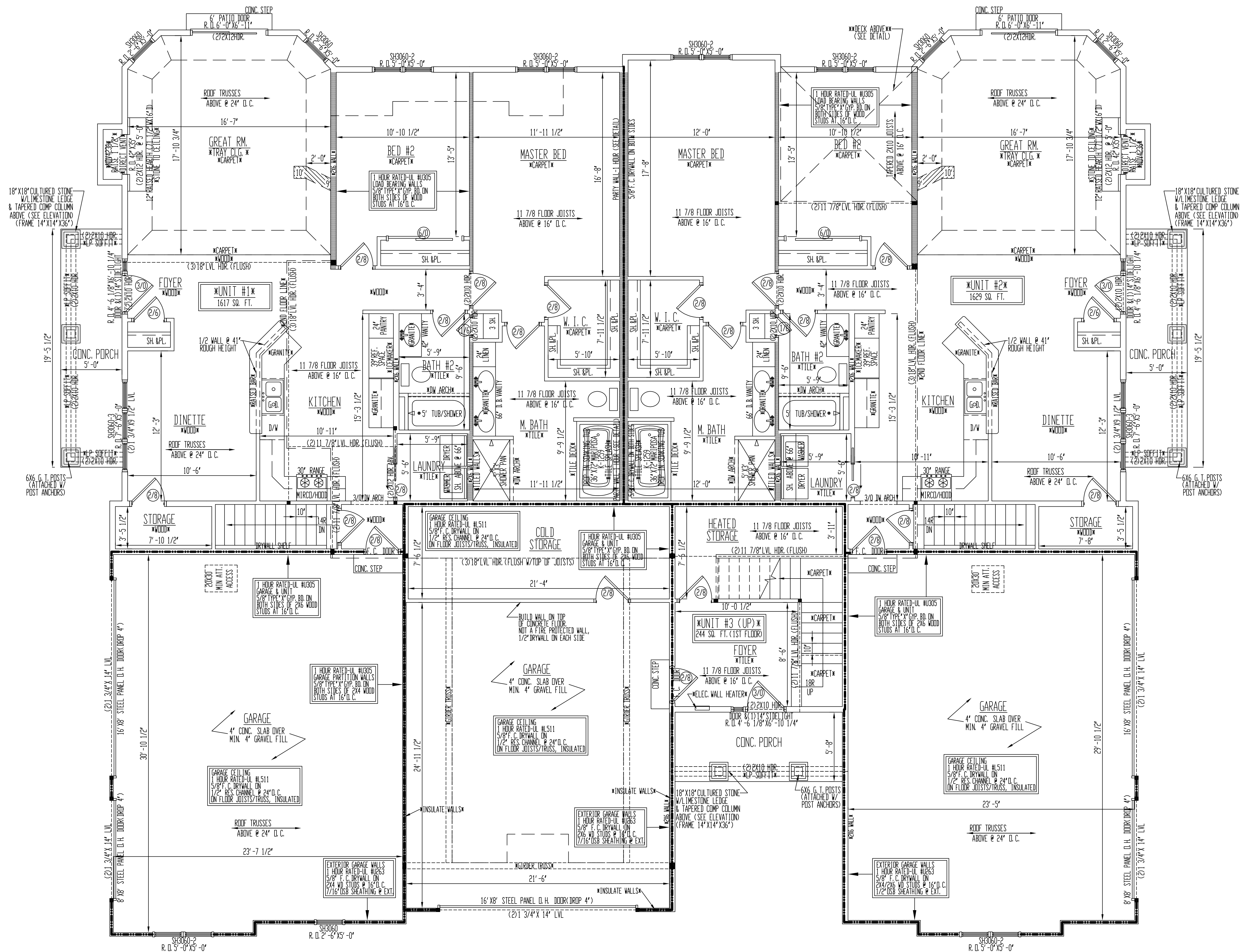
RESIDENCE CUSTOM DESIGNED FOR:

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REVISIONS:	
DRAWN BY:	SHEET:
P. A.	3
DATE:	STF
SCALE:	
1/4"=1'-0"	





\*9' HIGH WALLS- UNLESS NOTED\*

# FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

UNIT #1 1617 SQ. FT.  
UNIT #2 1629 SQ. FT.  
UNIT #3 244 SQ. FT. (1ST FLR. ONLY)

EXTERIOR WALL NOTE:  
ALL WALLS ARE OF 2X6 CONSTRUCTION;  
UNLESS OTHERWISE NOTED.

WALL TYPES:  
-LOAD BEARING WALL  
-1 HOUR RATED WALL (SEE NOTES)

\*CARPENTERS: PLEASE NOTE LOCATIONS OF CENTERLINES  
FOR PLUMBING & ALLOW 3" MIN. OF SPACE\*



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RESIDENCE CUSTOM DESIGNED FOR:

REVISIONS:

DRAWN BY:  
P. A.

DATE:

SCALE:  
1/4"=1'-0"

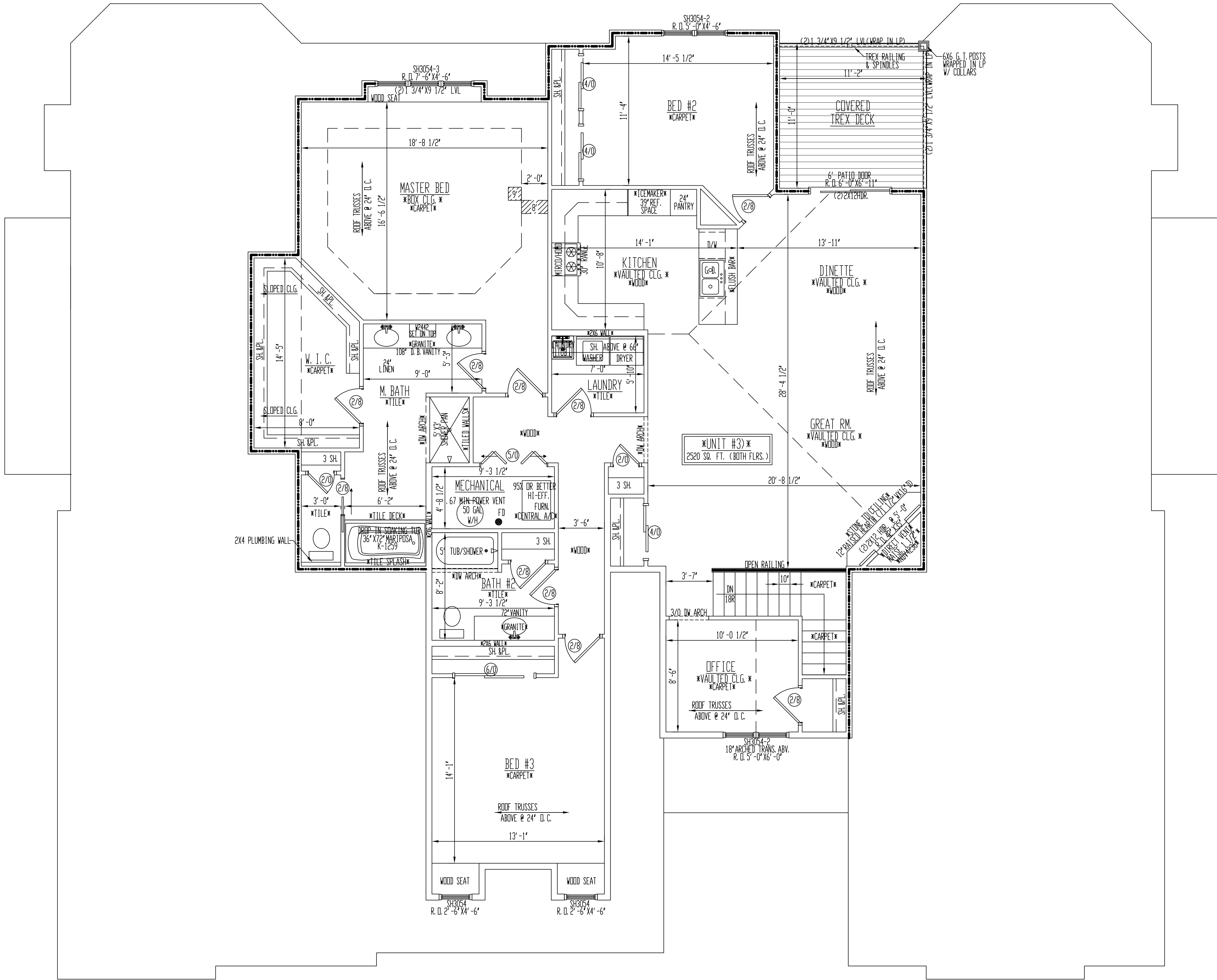
SHEET:

4

OF

5





\*9' HIGH WALLS- UNLESS NOTED\*

SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"  
UNIT #3 2276 SQ. FT. (2ND FLR. ONLY)

EXTERIOR WALL NOTE:  
ALL WALLS ARE OF 2X6 CONSTRUCTION;  
UNLESS OTHERWISE NOTED.

WALL TYPES:  
-LOAD BEARING WALL  
-1 HOUR RATED WALL (SEE NOTES)

<https://mail.yahoo.com/neo/launch?...>

REVISIONS:

DRAWN BY:  
P. A.  
DATE:  
SCALE:  
1/4"=1'-0"

SHEET:  
5 OF 5

\*CARPENTERS: PLEASE NOTE LOCATIONS OF CENTERLINES  
FOR PLUMBING & ALLOW 3" MIN. OF SPACE\*

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RESIDENCE CUSTOM DESIGNED FOR:

- D. Consider **PLAN COMMISSION RESOLUTION #19-03** to support the vacation of a portion of the Schmidt's First Addition to Pleasant Prairie Subdivision rights-of-way generally located north of 128<sup>th</sup> Street and east of Sheridan Road.

Village staff recommends that the Plan Commission approve Resolution #19-03 to support the vacation of a portion of the Schmidt's First Addition to Pleasant Prairie Subdivision rights-of-way as presented in the January 14, 2019 Village Staff Report.

- E. **PUBLIC HEARING AND CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-04 FOR COMPREHENSIVE PLAN AMENDMENTS** for the request of Stephanie Judge, agent on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road. The Nature Conservancy has acquired the 150 acres for the restoration of the site to a mix of dry prairies, wetland swales and oak savannas; therefore, the Village 2035 Land Use Plan Map 9.9 is proposed to be amended to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area to the Park, Recreational and Other Open Space lands designation. The Isolated Natural Resource Area and the field verified wetland land use designations will remain unchanged. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

Village staff recommends that the Plan Commission approve Resolution #19-04 and send a favorable recommendation to the Village Board to approve the **Comprehensive Plan Amendments** as presented in the January 14, 2019 Village Staff Report.

- F. **PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AMENDMENTS** for the request of Stephanie Judge, agent, on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road to be rezoned from the A-2, General Agricultural District and C-2, Upland Resource Conservancy District to the C-3, Natural and Scientific Area Resource Conservancy District. The lands currently zoned C-1, Lowland Resource Conservancy District would remain unchanged.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Zoning Map Amendments** as presented in the January 14, 2019 Village Staff Report.



## **VILLAGE STAFF REPORT OF JANUARY 14, 2019**

Consider **PLAN COMMISSION RESOLUTION #19-03** to support the vacation of a portion of the Schmidt's First Addition to Pleasant Prairie Subdivision rights-of-way generally located north of 128<sup>th</sup> Street and east of Sheridan Road.

**CONSIDERATION OF PLAN COMMISSION RESOLUTION #19-04 FOR COMPREHENSIVE PLAN AMENDMENTS** for the request of Stephanie Judge, agent on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road. The Nature Conservancy has acquired the 150 acres for the restoration of the site to a mix of dry prairies, wetland swales and oak savannas; therefore, the Village 2035 Land Use Plan Map 9.9 is proposed to be amended to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area to the Park, Recreational and Other Open Space lands designation. The Isolated Natural Resource Area and the field verified wetland land use designations will remain unchanged. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

**PUBLIC HEARING AND CONSIDERATION OF ZONING MAP AMENDMENTS** for the request of Stephanie Judge, agent, on behalf of The Nature Conservancy, owners of the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road to be rezoned from the A-2, General Agricultural District and C-2, Upland Resource Conservancy District to the C-3, Natural and Scientific Area Resource Conservancy District. The lands currently zoned C-1, Lowland Resource Conservancy District would remain unchanged.

### **THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME; HOWEVER, SEPARATE ACTIONS ARE REQUIRED**

*The Nature Conservancy (TNC) has purchased 150 acres of land generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets, east of Sheridan Road for a wetland restoration project to be known as Chiwaukee West Restoration Plan. The land area is west of the Chiwaukee Prairie State Natural Area (west of the railroad tracks).*

This area has been ditched, drained and is degraded agricultural land that the TNC intends to restore the natural hydrology and vegetation to host a mix of dry prairie, wetland swales and oak savannas. The TNC plans to work with the Village in the future to plan public access opportunities for this site, including walking trails. The site will feature a mix of grassy habitats intermixed with shallow wetlands, providing additional habitat for shorebirds including greater yellow legs, sandpipers, plovers, dowagers and godwits. Blanding's turtles have already been documented successfully nesting in the site's sandy agricultural fields, but restoration will enhance opportunities and enhance viability.

Beyond providing new wildlife habitat, improving degraded habitat and offering the public opportunities for nature-based outdoor recreation on this site, the planned restoration will also stop the excess flow of storm water runoff from this site through its ditch and drain tile network. **By restoring the site's hydrology to hold back storm water, the project will decrease downstream flooding and increase infiltration of clean groundwater follow to benefit drinking water supplies and feed springs that upwell to the adjoining State Natural Area.**

The site currently hosts about 67 acres of undesirable woody brush and trees interspersed with oak and hickory trees, 74.9 acres of agricultural fields, and approximately 5.8 acres emergent low-prairie, and a few acres of remnant native vegetation along the railroad right-of-way on the east side of the site. These areas are more particularly described below (as presented in the Restoration Plan):

**Existing woody zones (67 acres):** The property's woody zones are primarily in areas of ditched and degraded wetland, with some areas of woody upland along Sheridan Road. The largest block of wooded upland occurs immediately south of the adjoining Buoy Storage property and consists almost entirely of invasive black locust trees. The balance of the site's degraded woodlands primarily grow on wetter soils and include a mix of undesirable cottonwood, aspen, box elder, green ash, silver maple, Norway maple, willow, black cherry, pine, spruce and fir trees. All wooded areas include an understory mix of invasive, non-native shrubs like European buckthorn, Japanese honeysuckle, multi-flora rose, and autumn olive, as well as a significant population of invasive Oriental bittersweet vines. Some native shrubs such as red dogwood, gray dogwood and hazelnut are found at woodland edges.

A variety of native oak species (bur oak, swamp white oak, black oak, etc.) as well as shagbark hickory are scattered in the property's woodlands, but these classic savanna trees have been severely suppressed by the surrounding invasive growth. Similarly, many ground surfaces in the woodland areas are stripped of native grasses and flowers that were present historically before invasive trees and shrubs shaded them out and invasive weeds like garlic mustard outcompeted for the limited remaining light, water and space. One 3-acre woodland area near the site's south border includes a small ravine and does have a diverse array of ground vegetation remaining, including classic woodland species such as large-flowered trillium, jack-in-the-pulpit, large-flowered bellwort, wild leeks and mayapples. However, even this site has been invaded by garlic mustard, dame's rocket, burdock and other problem species.

**Agriculture fields (74.9 acres):** Judging by the age of some drain tiles located on the property, the site's agriculture fields have likely been in tillable production for at least a century. A recent investigation has found many eras of drain tile installed, with some of the oldest dating to the early 1900's. Subsequent tile installations date back to the 1930's, 40's and 50's. The site's ditch network was created in the 1970's, and the most recent drain tile was installed in the 1980's. Despite these efforts to dewater the property, the frequently wet soils tend to offer low crop yields. In 2018, the site was so wet that the farm tenant was unable to plant soybeans as planned in the spring, and similarly unable to plant a cover crop of winter wheat ahead of frost in the fall. The property was sprayed with glyphosate herbicide in early July to combat weeds during this fallow year.

**Emergent low-prairie and border with railroad right-of-way:** A diverse array of residual native vegetation still exists in a few pockets on this property. A 5.8-acre emergent low prairie in the central part of the site hosts the most native species, with over 70 documented in 2004 when surveyed by Southeastern Wisconsin Regional Planning Commission (SEWRPC). Unfortunately, this pocket still suffers from invasion by at least 11 exotic plant species including reed canary grass, phragmites, purple loosestrife, Canada thistle and buckthorn. The narrow, untilled acreage along the railroad right-of-way similarly hosts a variety of native species, but suffers from invasive species like reed canary grass, burdock, Canada thistle and garlic mustard.

**Restoration Plan Phases:** TNC envisions executing this restoration in four (4) primary phases: **Phase 1** includes ongoing planning, permitting and neighbor notifications. **Phase 2** covers site preparation between now and mid-2019 including removal of all undesirable woody trees, shrubs and vines this coming winter. (Stipulated Conservancy Permit and Erosion Control Permits have already been applied for and issued by the Village for these phases). **Phase 3** covers restoration of the site's hydrology and replanting of native vegetation in late summer/early fall 2019. Phase 4 covers intensive monitoring and follow-up for at least three years thereafter to assure restoration success before transitioning to a long-term maintenance plan. (See the Restoration Plan for more specific details of each phase).

### **Vacation of rights-of-way in the Schmidt's First Addition to Pleasant Prairie**

**Subdivision:** Since TNC now owns all of the lots involved and it's been more than 40 years since the plat was recorded, and the public streets were not built and have not been used by anyone, a



court procedure to vacate the portion of the plat is recommended by the Village. Wisconsin Statutes Section 236.40 says that the owner of the subdivision, or any lot in the subdivision, may apply to the Circuit Court for vacation or alteration of all or any part of the recorded plat. The owner must give notice at least three (3) weeks before the application, by posting, publication, service on the Village, and mailing a copy to the owners of record of all lots in the subdivision or the part of the subdivision to be vacated or altered.

Wisconsin Statutes Section 236.42 provides that after requiring proof that all of the necessary notices have been given, and after hearing all interested parties, the Court "may in its discretion" grant an order vacating or altering a part of the plat. This does not include vacating or altering areas dedicated to public use (such as streets), which are subject to Wisconsin Statutes Section 236.43. Wisconsin Statutes. Section 236.43 says the Court "may" vacate part of a subdivision dedicated and accepted by the public for public use if the plat was recorded more than 40 years prior to the filing of the application, the areas to be vacated were not improved as streets, roads or other public ways, the areas to be vacated are not necessary to reach other platted property, and all of the owners of the land in the plat or part thereof being vacated, and the Village, have joined in the application for vacation.

Wisconsin Statutes Section 236.43(4) provides that if the plat area being vacated includes a street, road, alley or public walkway, it can be vacated by the Court if there is a resolution passed by the Village Board approving and requesting such vacation and the owners of all frontage of the lots and lands abutting the area sought to be vacated request in writing that such action be taken.

The TNC has decided to follow the court procedures and will be responsible for petitioning the Court to vacate the portion of the plat. The Village can assist in the vacation of the area which includes a street, road, alley or public walkway by passing a resolution requesting the vacation of the area. Therefore, since the properties meet these requirements and furthermore that this area is zoned C-1, Lowland Resource Conservancy District and has been determined to be wetlands, Plan Commission Resolution #19-04 supports the vacation and further recommends that the Village Board adopt a resolution approving and requesting said vacation. Only portions of the right-of-way that do not abut any other lands not owned by the TNC can be vacated. In addition, vacating a portion of the plat does not vacate and existing utility easements that may have been dedicated will need to be vacated by the petitioner with the specific utility.

TNC's restoration project will transform a degraded vacant site into an attractive natural area with excellent wildlife habitat that enhances groundwater recharge by stemming the otherwise ongoing discharge of water from the property. Increased groundwater recharge means less flooding downstream and cleaner drinking water. The project will also provide new opportunities for public outdoor recreation including hiking, birdwatching and cross-country skiing. To accommodate these activities and engage and educate the public, we are installing informational signage at three trailheads along the site's perimeter.

In addition to these benefits, we envision that with community support, continued funding from those who have provided financial support and with participation from the other conservation partners at Chiwaukee, mowed trails will meander through prairies and past restored wetlands. Educational interpretive signs detailing a variety of subjects including the site's natural and cultural history, plants and animals may be staged along trail routes.

Beyond these initial public amenities, TNC hopes that funding and partner support may be secured to provide additional nature-based outdoor education opportunities at the site and we are actively exploring the feasibility of potential features like an ADA-accessible bird-watching platform and outdoor classroom area that could provide a destination for area school groups.

If support from the Village and other partners continues or expands in the years ahead, even more public amenities could be associated with this site. For example, Village staff have advocated acquisition of an abandoned gas station property along Sheridan Road. If acquired by the Village, this property or others like it could offer opportunities for school bus parking, a picnic area, bathrooms and even special, unique amenities like a natural playground, children's garden or nature center.

**Comprehensive Plan Amendment:** As a result of the forgoing, the Comprehensive Land Use Plan Map 9.9 is proposed to be amended to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area on the properties to the Park, Recreational and Other Open Space lands. The Isolated Natural Resource Area and the field verified wetland land use designations on the properties will remain unchanged. In addition, Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan is proposed to be updated to reflect the above noted changes to the 2035 Land Use Plan Map 9.9. [Note: As stated in the current Village Comprehensive Plan adopted in 2009, all amendments to the Land Use Plan Map supersede any land uses noted on any neighborhood plan or other component of the Village Comprehensive Plan.]

**Zoning Map Amendment:** The Land Use Map and the Zoning Map are required to be consistent, therefore; the petitioner is requesting to rezone the properties from the A-2, General Agricultural District and C-2, Upland Resource Conservancy District to the C-3, Natural and Scientific Area Resource Conservancy District. The lands zoned C-1, Lowland Resource Conservancy District will remain unchanged.

**Update on TNC land in the Chiwaukee Prairie (south of 116<sup>th</sup> Street and east the railway):** TNC continues to acquire land as identified in The Carol Beach Chiwaukee Prairie Land Use Management Plan for preservation when there is a willing seller. As of 2015 when TNC transferred their own property to the Wisconsin Department of Natural Resources, 56 lots still needed to be acquired. Since that time, the Chiwaukee Prairie Preservation Fund (CPPF), an all-volunteer, charitable organization dedicated to acquiring, managing and preserving Chiwaukee Prairie, especially in this area, has acquired 14 additional lots within this zone, and 3 more lots further north. The lots that remain in private ownership are shown on the **attached** map. The platted roads east of the railroad are intended to be vacated when all of the adjacent land is in common ownership. 116<sup>th</sup> St., Lakeshore Dr., 1st Ct., parts of 121<sup>st</sup> St. and 122<sup>nd</sup> St. to 2<sup>nd</sup> Ave. and part of 2<sup>nd</sup> Ave. from 121<sup>st</sup> St. to 122<sup>nd</sup> St. are driveable. The rest of the platted roads are mostly grown prairie; a few have heavily rutted gravel.

**Future Plans for the Restoration Area:** TNC's restoration project for this project will transform a degraded vacant site into an attractive natural area with excellent wildlife habitat that enhances groundwater recharge by stemming the otherwise ongoing discharge of water from the property. Increased groundwater recharge means less flooding downstream and cleaner drinking water. The project will also provide new opportunities for public outdoor recreation including hiking, birdwatching and cross-country skiing. To accommodate these activities and engage and educate the public, TNC is installing informational signage at three trailheads along the site's perimeter.

In addition to these benefits, the TNC envisions that with community support, continued funding from those who have provided financial support and with participation from the other conservation partners at Chiwaukee, work will be undertaken to create mowed trails that will meander through prairies and past restored wetlands. Educational interpretive signs detailing a variety of subjects including the site's natural and cultural history, plants and animals may be staged along trail routes.

Beyond these initial public amenities, TNC hopes that funding and partner support may be secured to provide additional nature-based outdoor educational opportunities at the site and they



are actively exploring the feasibility of potential features like an ADA-accessible bird-watching platform and an outdoor classroom area that could provide a destination for area school groups.

With additional funding, they could offer opportunities for school bus parking, a picnic area, bathrooms and even special, unique amenities like a natural playground, children's garden or nature center.

## **RECOMMENDATIONS**

Village staff recommends that the Plan Commission approve Resolution #19-03 and send a favorable recommendation to the Village Board to support the vacation of rights-of-way in a portion of the **Schmidt's First Addition** to Pleasant Prairie Subdivision.

Village staff recommends that the Plan Commission approve Resolution #19-04 and send a favorable recommendation to the Village Board to approve the Comprehensive Plan Amendments as presented.

Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the Zoning Map Amendments as presented.

**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #19-03  
TO SUPPORT THE VACATION OF RIGHTS-OF-WAY WITHIN A PORTION OF THE  
SCHMIDT'S FIRST ADDITION TO PLEASANT PRAIRIE SUBDIVISION IN  
VILLAGE OF PLEASANT PRAIRIE, WISCONSIN,  
2035 COMPREHENSIVE PLAN**

**WHEREAS,** the Schmidt's First Addition to Pleasant Prairie Subdivision is generally located north of 128<sup>th</sup> Street and east of Sheridan Road and was platted in the 1920's; and

**WHEREAS,** The Nature Conservancy (TNC), currently has purchased the following lots within the subdivision identified as Tax Parcel Numbers 93-4-123-314-0104 thru 93-4-123-314-0150; 93-4-123-314-0174 thru 93-4-123-314-0220; 93-4-123-314-0242 thru 93-4-123-314-0286; and 93-4-123-314-0312 thru 93-4-123-314-0330; and

**WHEREAS,** to date no public roadway improvements were constructed within the subdivision rights-of-way on the lands adjacent to these properties owned by TNC as part of their Chiwaukee West Restoration Plan; and

**WHEREAS,** these properties have been designated as wetlands and are zoned C-1, Lowland Resource Conservancy District; and

**WHEREAS,** since TNC now owns the aforementioned lots and its been more than 40 years since the plat was recorded, and the public streets were not built and have not been used by anyone, a court procedure to vacate the portion of the plat is being supported by the Village as shown in **Exhibit 1**; and

**WHEREAS,** Wisconsin Statutes Section 236.40 provides that the owner of the subdivision, or any lot in the subdivision, may apply to the Circuit Court for vacation or alteration of all or any part of the recorded plat. The owner must give notice at least three (3) weeks before the application, by posting, publication, service on the Village, and mailing a copy to the owners of record of all lots in the subdivision or the part of the subdivision to be vacated or altered; and

**WHEREAS,** Wisconsin Statutes Section 236.42 provides that after requiring proof that all of the necessary notices have been given, and after hearing all interested parties, the Court "may in its discretion" grant an order vacating or altering a part of the plat. This does not include vacating or altering areas dedicated to public use (such as streets), which are subject to Wisconsin Statutes Section 236.43. Wisconsin Statutes. Section 236.43 says the Court "may" vacate part of a subdivision dedicated and accepted by the public for public use if the plat was recorded more than 40 years prior to the filing of the application, the areas to be vacated were not improved as streets, roads or other public ways, the areas to be vacated are not necessary to reach other platted property, and all of the owners of the land in the plat or part thereof being vacated, and the Village, have joined in the application for vacation; and

**WHEREAS,** Wisconsin Statutes Section 236.43(4) provides that if the plat area being vacated includes a street, road, alley or public walkway, it can be vacated by the Court if there is a resolution passed by the Village Board approving and requesting such vacation and the owners of all frontage of the lots and lands abutting the area sought to be vacated request in writing that such action be taken; and

**WHEREAS,** the Village supports the vacation of portions of the streets within Schmidt's First Addition to Pleasant Prairie as shown on **Exhibit 1** and adjacent to the following Tax Parcel Numbers: 93-4-123-314-0104 thru 93-4-123-314-0148; 93-4-123-314-0174 thru 93-4-123-314-0218; 93-4-123-314-0246 thru 93-4-123-314-0286; and 93-4-123-314-0328 thru 93-4-123-314-0330.



**NOW THEREFORE, BE IT RESOLVED**, that pursuant to Section 236.43(4) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby supports the vacation of a portion of the plat and portion rights-of-way in the **Schmidt's** First Addition to Pleasant Prairie Subdivision adjacent to the following Tax Parcel Numbers 93-4-123-314-0104 thru 93-4-123-314-0148; 93-4-123-314-0174 thru 93-4-123-314-0218; 93-4-123-314-0246 thru 93-4-123-314-0286; and 93-4-123-314-0328 thru 93-4-123-314-0330 as shown on **Exhibit 1**.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board adopt a Resolution of support of said vacations.

**Adopted this 14<sup>th</sup> day of January 2019.**

VILLAGE OF PLEASANT PRAIRIE

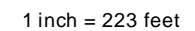
ATTEST:

\_\_\_\_\_  
James W. Bandura  
Secretary

\_\_\_\_\_  
Michael J. Serpe  
Plan Commission Chairman

Date Posted: \_\_\_\_\_

03-Support Vacation-Schmidts 1st add



Date Printed: 1/6/2019



**VILLAGE OF PLEASANT PRAIRIE PLAN COMMISSION  
RESOLUTION #19-04  
TO AMEND THE VILLAGE OF PLEASANT PRAIRIE, WISCONSIN  
2035 COMPREHENSIVE PLAN**

**WHEREAS,** on December 19, 2009 the Village Board adopted the *Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan* (Comprehensive Plan); and

**WHEREAS,** the 2035 Comprehensive Land Use Plan Map 9.9, which has amendment sets forth that the generalized land use designations of the Village shall be consistent with other components of the Comprehensive Plan including the Village Zoning Map; and

**WHEREAS,** The Nature Conservancy has acquired the 150 acres for the restoration of the site to a mix of dry prairies, wetland swales and oak savannas generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road, located in U.S. Public Land Survey Section 31, Township 1 North, Range 23 East and further identified as Tax Parcel Numbers 93-4-123-311-0070; 93-4-123-311-0201; 93-4-123-311-0204; 93-4-123-314-0410; 93-4-123-314-0104 thru 93-4-123-314-0150; 93-4-123-314-0174 thru 93-4-123-314-0220; 93-4-123-314-0242 thru 93-4-123-314-0286; and 93-4-123-314-0312 thru 93-4-123-314-0330; and

**WHEREAS,** as a result of the project, the 2035 Land Use Plan Map 9.9 is proposed to be amended to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area to the Park, Recreational and Other Open Space lands on the properties. The Isolated Natural Resource Area and the field verified wetland land use designations will remain unchanged; and

**WHEREAS,** on December 14, 2018 the required 30-day notice was published in the Kenosha News and notices were sent to property owners within 300 feet for the January 14, 2019 public hearing to be held by the Village Plan Commission.

**NOW THEREFORE, BE IT RESOLVED,** that pursuant to Sections 62.23 (3) (b) and 66.1001 (4) (b) of the Wisconsin Statutes, the Village of Pleasant Prairie Plan Commission hereby recommends approval of the following amendments to the Village of Pleasant Prairie, Wisconsin 2035 Comprehensive Plan:

1. To amend the Village 2035 Land Use Plan Map 9.9 to change the Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area to the Park, Recreational and Other Open Space lands on the properties generally located between 116<sup>th</sup> and 128<sup>th</sup> Streets east of Sheridan Road and further identified as Tax Parcel Numbers 93-4-123-311-0070; 93-4-123-311-0201; 93-4-123-311-0204; 93-4-123-314-0410; 93-4-123-314-0104 thru 93-4-123-314-0150; 93-4-123-314-0174 thru 93-4-123-314-0220; 93-4-123-314-0242 thru 93-4-123-314-0286; and 93-4-123-314-0312 thru 93-4-123-314-0330. The Isolated Natural Resource Area and the field verified wetland land use designations on the properties will remain unchanged.
2. To update Appendix 10-3 of the Village of Pleasant Prairie Wisconsin, 2035 Comprehensive Plan to reflect the above noted changes to the 2035 Land Use Plan Map 9.9.

**BE IT FURTHER RESOLVED** that the Plan Commission does hereby recommend that the Village Board enact an Ordinance adopting said amendments, as referenced above, to the *Village of Pleasant Prairie 2035 Comprehensive Plan*.

**Adopted this 14<sup>th</sup> day of January 2019.**

VILLAGE OF PLEASANT PRAIRIE

ATTEST:

\_\_\_\_\_  
James Bandura  
Secretary

\_\_\_\_\_  
Michael J. Serpe  
Plan Commission Chairman

Date Posted: \_\_\_\_\_

04-Comp Plan Amend- LU amend-TNC Restoration Area  
CODE1812-001



# Chiwaukee West Restoration Plan

## Phases 1 & 2



11/20/18

**FULL PROJECT OVERVIEW & GOALS:** The Nature Conservancy (TNC) currently owns 150 acres of ditched, drained and degraded agricultural land in the Village of Pleasant Prairie and intends to restore the property's natural hydrology and vegetation to host a mix of dry prairies, wetland swales and oak savannas for the benefit of nature and people.

This property is located along Sheridan Road/Wisconsin Hwy 32 between 116<sup>th</sup> Street and the Wisconsin-Illinois State Line. The Chiwaukee Prairie State Natural Area is adjacent to the east of the property.

TNC hopes to work with the Village to plan public access opportunities for this site, including walking trails. Once restoration is complete, the site will offer substantial habitat for monarch butterflies and other pollinators through reestablishment of native prairie cover. The site will feature a mix of grassy habitats intermixed with shallow wetlands, providing additional habitat for shorebirds including greater yellow legs, sandpipers, plovers, dowagers and godwits. Blanding's turtles have already been documented successfully nesting in the site's sandy agriculture fields, but restoration will enhance opportunities and nest viability.

Beyond providing new wildlife habitat, improving degraded habitat and offering the public opportunities for nature-based outdoor recreation on this site, the planned restoration will also stop the excessive flow of storm water runoff from this site through its ditch and drain tile network. By restoring this site's hydrology to hold back storm water, the project will decrease downstream flooding and increase infiltration of clean ground water flows to benefit drinking water supplies and feed springs that upwell to the adjoining State Natural Area.

**CURRENT SITE CONDITIONS:** The site currently hosts about 67 acres of undesirable woody brush and trees interspersed with oak and hickory trees, 74.9 acres of agriculture fields, an approximately 5.8-acre emergent low-prairie, and a few acres of remnant native vegetation along the railroad right-of-way which borders the site to the east.

**Existing woody zones (67 acres):** The property's woody zones are primarily in areas of ditched and degraded wetland, with some areas of woody upland along Sheridan Road. The largest block of wooded upland occurs immediately south of the adjoining Buoy Storage property and consists almost entirely of invasive black locust trees. The balance of the site's degraded woodlands primarily grow on wetter soils and include a mix of undesirable cottonwood, aspen, box elder, green ash, silver maple, Norway maple,

willow, black cherry, pine, spruce and fir trees. All wooded areas include an understory mix of invasive, non-native shrubs like European buckthorn, Japanese honeysuckle, multi-flora rose, and autumn olive, as well as a significant population of invasive Oriental bittersweet vines. Some native shrubs such as red dogwood, gray dogwood and hazelnut are found at woodland edges.

A variety of native oak species (bur oak, swamp white oak, black oak, etc.) as well as shagbark hickory are scattered in the property's woodlands, but these classic savanna trees have been severely suppressed by the surrounding invasive growth. Similarly, many ground surfaces in the woodland areas are denuded of native grasses and flowers that were present historically before invasive trees and shrubs shaded them out and invasive weeds like garlic mustard outcompeted for the limited remaining light, water and space. One 3-acre woodland area near the site's south border includes a small ravine and does have a diverse array of ground vegetation remaining, including classic woodland species such as large-flowered trillium, jack-in-the-pulpit, large-flowered bellwort, wild leeks and mayapples. However, even this site has been invaded by garlic mustard, dame's rocket, burdock and other problem species.

**Agriculture fields (74.9 acres):** Judging by the age of some drain tile located on the property, the site's agriculture fields have likely been in tillable production for at least a century. A recent investigation has found many eras of drain tile installed, with some of the oldest dating to the early 1900s. Subsequent tile installations date to the 1930s, 40s and 50s. The site's ditch network was created in the 1970s, and the most recent drain tile was installed in the 1980s. Despite these efforts to dewater the property, the frequently wet soils tend to offer low crop yields. In 2018, the site was so wet that the farm tenant was unable to plant soybeans as planned in the spring, and similarly unable to plant a cover crop of winter wheat ahead of frost in the fall. The property was sprayed with glyphosate herbicide in early July to combat weeds during this fallow year.

**Emergent low-prairie and border with railroad right-of-way:** A diverse array of residual native vegetation still exists in a few pockets on this property. A 5.8-acre emergent low prairie in the central part of the site hosts the most native species, with over 70 documented in 2004 when surveyed by Southeastern Wisconsin Regional Planning Commission (SEWRPC). Unfortunately, this pocket still suffers from invasion by at least eleven exotic plant species including reed canary grass, phragmites, purple loosestrife, Canada thistle and buckthorn.

The narrow, untilled acreage along the railroad right-of-way similarly hosts a variety of native species, but suffers from invasive species like reed canary grass, burdock, Canada thistle and garlic mustard.

**PROJECT PHASES, OBJECTIVES & SCOPES OF WORK:** TNC envisions executing this restoration in four primary phases: Phase 1 includes ongoing planning, permitting and neighbor notifications. Phase 2 covers site preparation between now and mid-2019 including removal of all undesirable woody trees, shrubs and vines this coming winter. Phase 3 covers restoration of the site's hydrology and replanting of native vegetation in late summer/early fall 2019. Phase 4 covers intensive monitoring and follow-up for at least three years thereafter to assure restoration success before transitioning to a long-term maintenance plan.



## **Phase 1 – Planning, Permitting and Neighbor Notifications**

**State and Federal Planning & Permitting** - We have begun restoration planning for the site with technical assistance from the U.S. Fish and Wildlife Service (FWS) Partners for Fish & Wildlife Private Lands Program, which recently surveyed the property's ditches and prepared a preliminary ditch-fill plan that includes filling ditches and recontouring low areas to recreate natural wetland swales. TNC also recently contracted Huddleston McBride, a consulting firm specializing in drain tile investigations, to map the network of tile on our property so we can refine our plans for filling ditches and disabling drain tile to assure no negative off-site impacts.

The preliminary wetland restoration plan developed by the FWS will consider the property's mapped drain tile network and be further refined ahead of submission to the Wisconsin Department of Natural Resources as well as the Army Corps of Engineers for review and permitting at the State and Federal levels. It is of note that the ditch network travels almost exclusively through the site's nearly 30 acres of existing wetlands. All of these wetlands will remain, though their topography will be modified and naturalized, with the expectation that at least 33 more acres of wetlands will be created as part of the project.

The site underwent an archeological review in summer 2018 to identify pre-historic cultural activity. The archeological survey resulted in the identification of prehistoric cultural materials in the southern portion of the property. These materials include a single lithic flake associated with a previously-identified archeological site, and three pieces of lithic debitage that are part of a newly identified site just north of the other. Although archeological materials were confirmed to be present, no further investigations were recommended because planned restoration activities will provide a level of protection to these materials that is currently lacking, and no soil disturbance is planned near the sites. We are currently awaiting a Section 106 NHPA (National Historic Preservation Act) clearance to proceed with our plans.

We are additionally working with the FWS to secure a Section 7 ESA (Endangered Species Act) clearance and the Wisconsin DNR to assure our project protects all relevant NHI (Natural Heritage Inventory) occurrences.

**Neighbor Notifications** – We have contacted all of our property's adjoining neighbors and are now sending letters to all other property owners within 300' of our land. To date, we have received a positive response from any neighbors with whom we have spoken and we intend to keep all neighbors fully informed as we move ahead. We will also be installing signs at three locations (116<sup>th</sup> Street entrance, 128<sup>th</sup> Street trailhead, and the "Big-I" field along Sheridan Road) explaining the restoration project's objectives and phases before any substantially visible change occurs on our land.

### **Village of Pleasant Prairie Planning & Permitting -**

**Stipulated Conservancy Permit:** The Village of Pleasant Prairie requires landowners secure a Stipulated Conservancy Permit ahead of embarking on a project such as this and we hope this

Restoration Plan provides the basis for Village approval through Phase 2 (outlined below). After TNC has secured a Wetland General Permit through the DNR and ACOE to complete Phase 3 of the project, we would subsequently submit an updated restoration plan or other materials as needed to secure Village approval for the balance of the project.

**Erosion Control Permit:** Although this project's Phase 2a, as described below, will occur on frozen ground and so no erosion is anticipated, TNC is applying for an Erosion Control Permit covering this phase. TNC will submit an updated Erosion Control Permit Application prior to beginning Phase 3 (ditch filling and recontouring into wetland swales, followed by replanting to native cover) and will work with Village Staff on this aspect after our wetland restoration plans are finalized.

**Zoning Map Amendment & Comprehensive Plan Amendments:** TNC has sought Zoning Map and Comprehensive Plan Amendments at the request of Village Staff. The amendments will update the zoning and land use categories across the entire site to reflect the future land uses resulting from TNC's investment in the ecological restoration of this degraded property.

## **Phase 2a – Site Preparation – Woody Vegetation Removal**

**Scope of Work:** This project site has undergone over a century of intensive land use that has degraded its natural values. The site preparation phase of this project is fundamental. In the woodland areas, site preparation will focus on removing all undesirable woody vegetation including trees, shrubs and vines, while carefully preserving all oak and hickory trees. See attached Woody Vegetation Removal Map for reference.

**Description of Work:** TNC will contract with Homer Tree Service of Lockport, IL to clear all trees, brush and vines, except oak and hickory trees, from approximately 67 acres of land. This woody removal will begin at the northern boundary of our property (see access point 1 on the map) and move south in a clockwise sequence, completing work in the vicinity of access point 6 on Sheridan Road, pending Village approval to clear in that area zoned C-2. This work will be conducted by trained operators using heavy forestry equipment under sufficiently dry or frozen ground conditions to avoid rutting or soil disturbance. Logs and wood chips generated by the tree chipping process will be staged at pre-determined locations and removed from the site.

Stumps 4" in diameter or greater in locations where future grading is planned will be ground out, with the stump grindings backfilled into stump holes. If TNC determines that stump grinding activities have disturbed sufficient soil that erosion may pose a concern, an oat cover crop will be broadcast wherever soil has been exposed to stabilize the site until Phase 3's wetland restoration begins later in 2019.

All other areas will have stumps cut flat and nearly flush (max 2" high) with the ground surface. All stumps not ground will be immediately treated with an appropriate herbicide according to manufacturer specifications, to minimize resprouting. Herbicide shall only be applied by licensed applicators.

All property lines and removal boundaries will be marked ahead of the woody vegetation removal. Neighboring landowners will be consulted about whether any clearing can or should take place across property boundaries to ensure clean and aesthetic edges. In the event neighboring landowners consent



to cutting on their lands, their permission will be secured in writing. TNC is working with Village staff to coordinate any clearing in the Village-managed rights-of-way along 116<sup>th</sup> and 128<sup>th</sup> Streets and in undeveloped rights-of-way within the “Schmidt’s First Addition” area formerly owned by Kenosha County.

**Schedule:** Assuming all permits are in place, the woody clearing project should be started by early January 2019 and be completed within 2-4 weeks.

Please refer to TNC’s Erosion Control Permit application filed with Village Engineering for any further information related to this process.

## **Phase 2b – Invasive Herbaceous Vegetation Management & Woody Resprout Treatment**

**Scope of Work:** Herbaceous weeds have impacted all areas of this 150-acre project site. Garlic mustard is ubiquitous in woodland areas while reed canary grass thrives in the site’s small emergent low prairie and along its railroad right-of-way. Numerous other herbaceous invasive weeds are present and need to be proactively managed through both chemical and mechanical means. TNC will contract a reputable land restoration firm to begin controlling invasive herbaceous weeds and treating woody resprouts across the property in the spring of 2019, as early as weather permits.

**Description of Work:** The exact description and sequencing of work will vary depending on the specific proposal accepted by TNC when hiring a restoration company. However, TNC anticipates several specific actions will be taken to begin managing herbaceous weeds and woody resprouts:

- 1) **Use of Prescribed Fire:** Although this will be a tool used broadly across the site in its later maintenance (Phase 4) stages, the application of prescribed fire may be used initially to begin enhancing the 5.8-acre emergent low prairie as well as the native vegetation persisting along the railroad right-of-way. Prescribed fire may be implemented in early spring 2019 to clear off the duff and dead vegetation accumulated on these sites to prepare them for later, more effective targeted herbicide treatments of invasive plants. Any prescribed burns will be discussed in advance with the Village Fire and Rescue Department, and TNC or its contractor will apply for an applicable Burn Permit prior to implementing prescribed fire.
- 2) **Targeted Herbicide Treatments of Invasive Herbaceous Plants & Woody Vegetation Resprouts:** TNC will contract a land restoration firm with licensed herbicide applicators to conduct ongoing and seasonally-appropriate treatments of invasive weeds across our entire 150-acre property. The following treatment areas and strategies are planned:
  - a. **Emergent low prairie, railroad right-of-way and southeast ravine:** Each of these areas still hosts substantial populations of beneficial native grass, sedge and forb species. Restoration crews skilled in plant identification will grid these areas and carefully target invasive weeds with foliar spray or wick applications of an appropriate herbicide to minimize overspray and impacts to non-target species. Key invasive weeds treated will include but not be limited to rhizomatous weeds such as reed canary grass, phragmites, Canada thistle and Canada goldenrod as well as biennial invasive weeds like garlic mustard, dames rocket and burdock. Other weeds known to be present and targeted for treatment include redtop, spotted St. John’s-wort, purple loosestrife, and curly dock.

- b. **Cleared woody areas:** All cleared woody areas will undergo a “woody resprout” treatment when sprouts have reached a size of 3-6 inches and enough leaf tissue is present to apply herbicide. A follow-up re-sprout/small stem treatment may be completed prior to July 1, 2019 if adequate control has not already been achieved. These same areas will also be searched for invasive herbaceous weeds such as garlic mustard. Weeds found in these areas will be treated with an appropriate herbicide and methods.
- c. **Crop fields:** TNC and the tenant leasing the crop fields had mutually agreed that winter wheat would be planted in September 2018, but wet conditions made this infeasible and the fields are currently fallow. If conditions in March 2019 are conducive, the tenant will cultivate the fields and plant a dense crop of oats to hold soil and compete with weeds until harvest in mid-summer. Upon harvest of this final crop, the fields will be assessed for weed issues and other conditions that could impact seeding of perennial cover following wetland construction in late summer/early fall. Actions will be taken to assure optimal field conditions for seeding perennial cover.

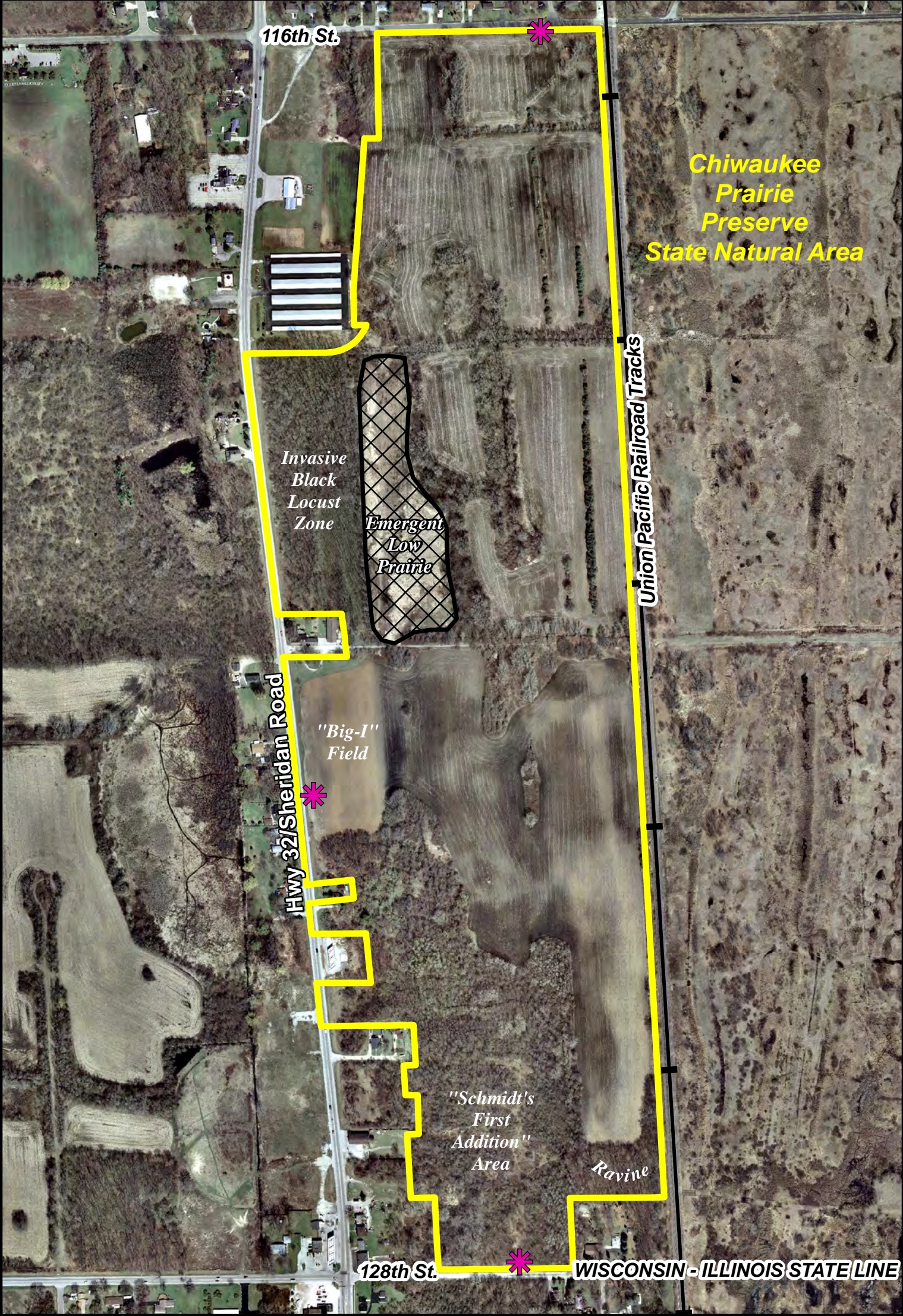
**Schedule:** Invasive plant treatments will begin in early spring 2019 and continue through the entire growing season.

### **Future Phases – (3) Restoration of Site Hydrology & Replanting of Native Vegetation & (4) Monitoring and Follow-Up**



TNC’s restoration plan for Phases 3 and 4 of this project will be submitted to the Village of Pleasant Prairie as soon as a General Wetland Permit has been issued following review by the Wisconsin DNR and U.S. Army Corps of Engineers in early 2019. TNC requests issuance of a Stipulated Conservancy Permit and Erosion Control Permit allowing us to proceed with this project’s Phase 2 as soon as weather conditions permit.

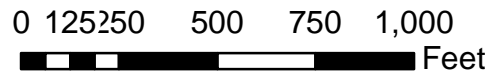


Chiwaukee West Restoration Area Site Map



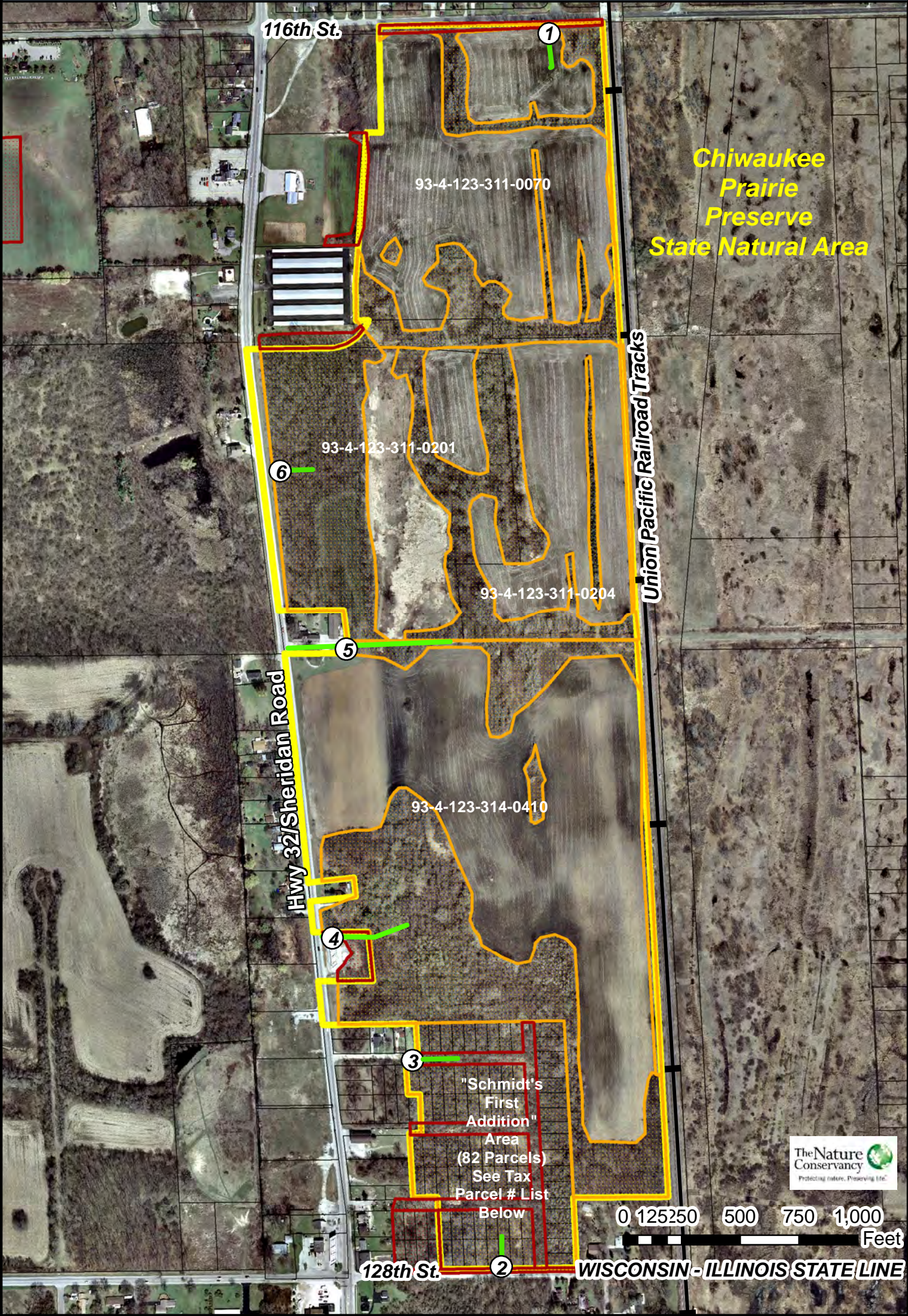
Legend

-  TNC Ownership - 150 acres
-  Public Information Signage Location





Chiwaukee West Restoration Area Stipulated Conservancy Permit Application Map  
Phase 2a - Woody Vegetation Removal



Legend

- TNC Woody Removal Areas
- Neighbor/ROW Woody Removal Areas, Pending Neighbor and/or Village Agreement
- Woody Removal Access Points & Routes

TNC Ownership - 150 acres

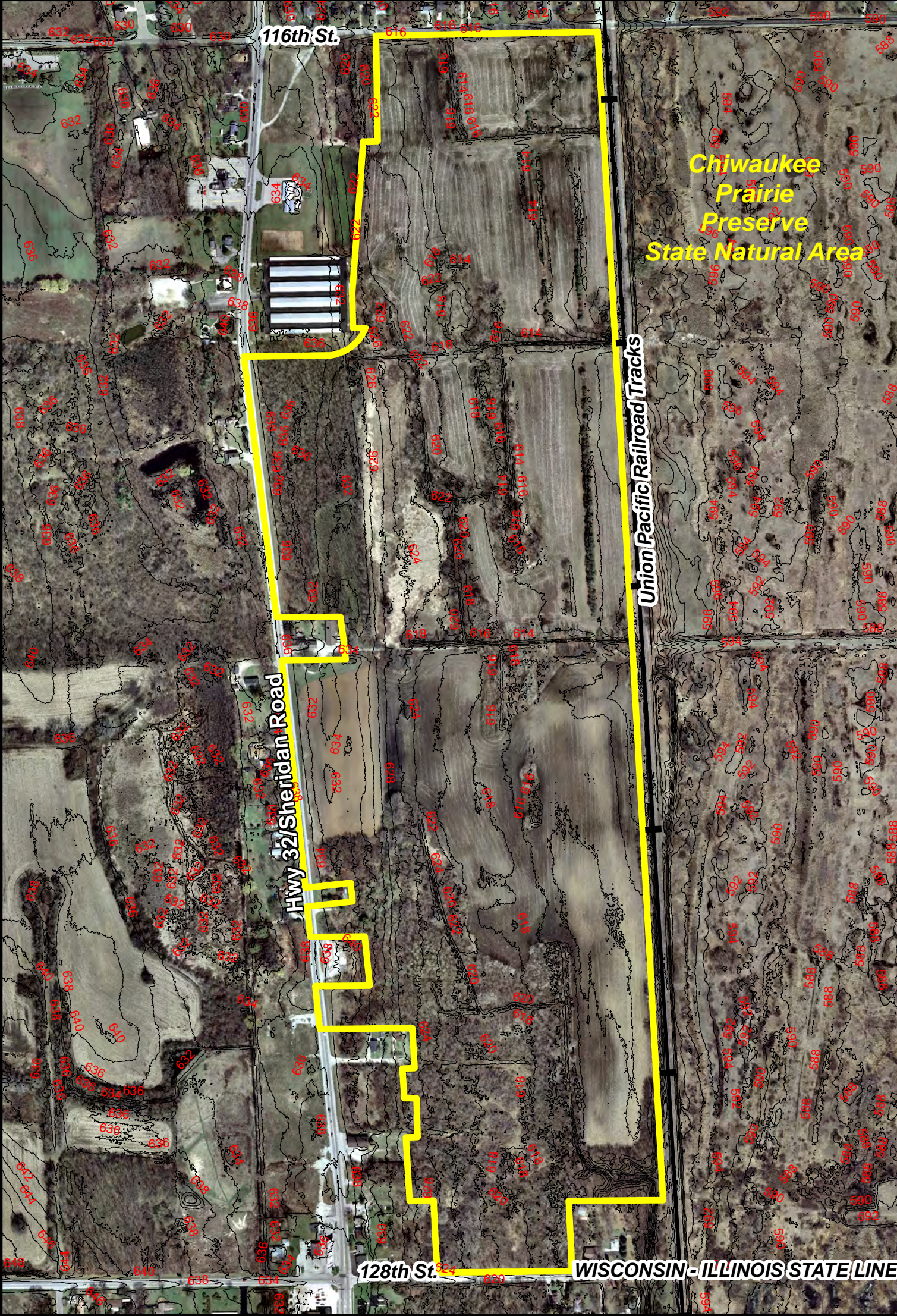
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	-0326,	-0328,	-0330,			






Chiwaukee West Restoration Site - 2' LIDAR Contours



Legend

 TNC Ownership - 150 acres

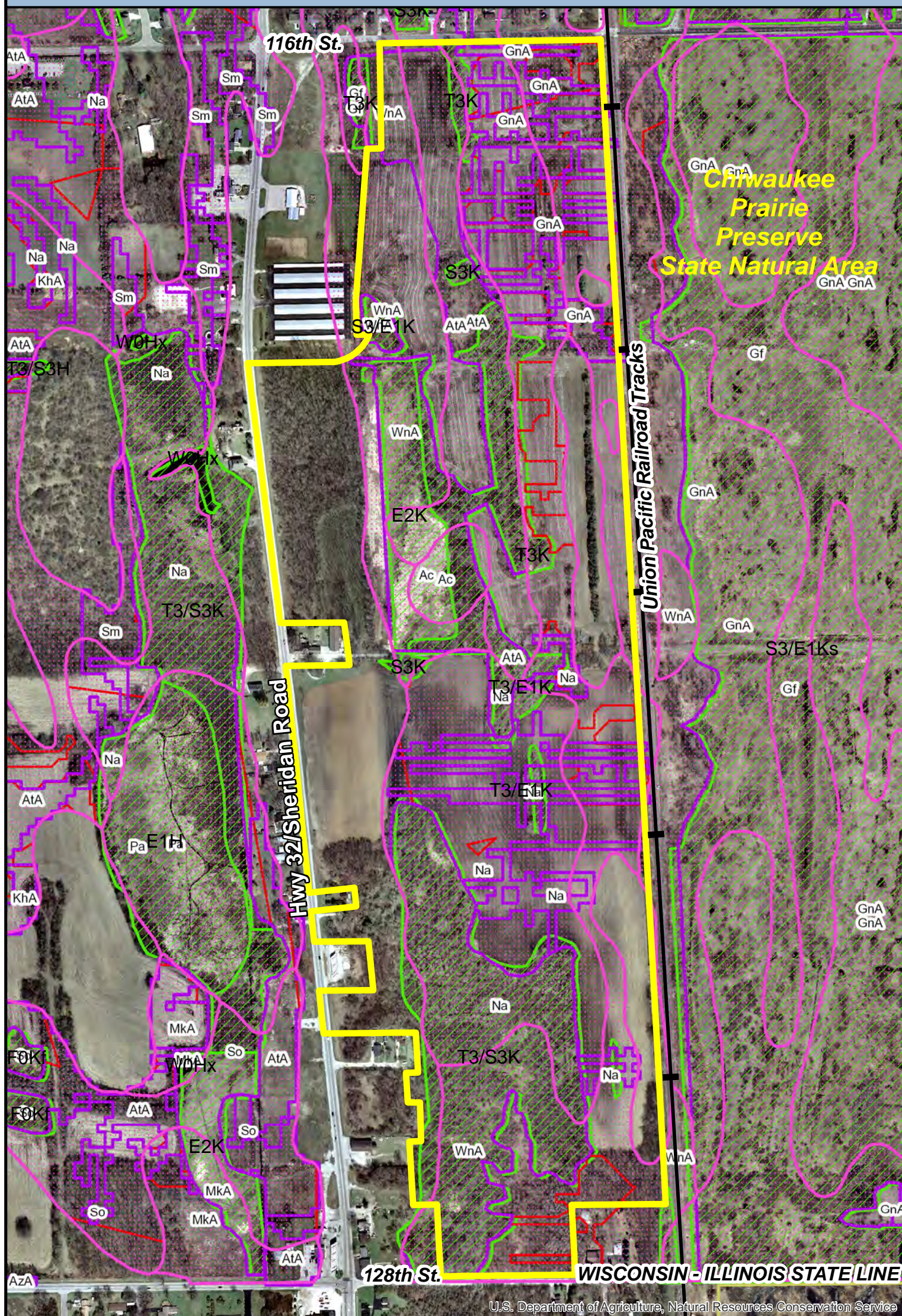
 LIDAR 2ft Contours

0 125 250 500 750 1,000  
 Feet





## Chiwaukee West Restoration Site - Wetlands, Indicators & PRWs



## Legend

 TNC Ownership - 150 acres

 Wetland (SEWRPC)
Wetland Indicators (WDNR)

 Potentially Restorable Wetlands (WDNR)

0 125 250 500 750 1,000 Feet

**Document Name:** ChiuWestRR\_FullComplex\_Wetlands **Date:** 10/26/2018

The Nature Conservancy   
Protecting nature. Preserving life.

N





ZONING MAP AMENDMENT (NORTH PROPERTIES)

properties area to be rezoned





ZONING MAP AMENDMENT (SOUTH PROPERTIES)

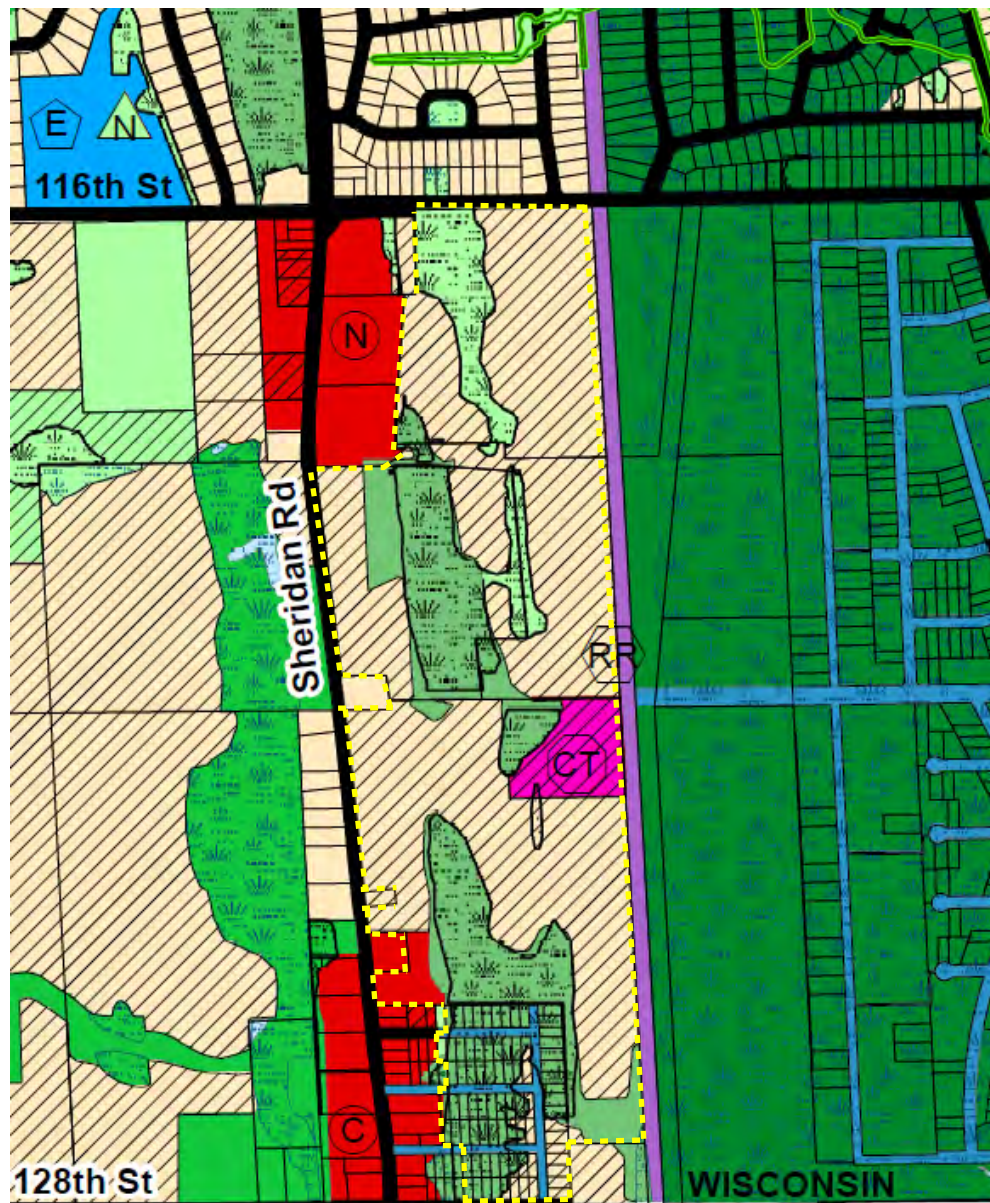
.....properties area to be rezoned





# LAND USE MAP AMENDMENTS

areas of the amendment



## STATE OF ILLINOIS

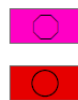
### Legend

#### RESIDENTIAL LANDS

- LOW DENSITY RESIDENTIAL  
(19,000 Square Feet Or More Per Dwelling Unit)
- LOW-MEDIUM DENSITY RESIDENTIAL  
(12,000 To 18,999 Square Feet Per Dwelling Unit)
- UPPER-MEDIUM DENSITY RESIDENTIAL  
(6,200 To 11,999 Square Feet Per Dwelling Unit)
- HIGH DENSITY RESIDENTIAL  
(Less Than 6,200 Square Feet Per Dwelling Unit)

- OTHER TRANSPORTATION, COMMUNICATIONS AND UTILITIES
  - P Pleasant Prairie Power Plant
  - L Active Landfill
  - RR Railroads
  - W Weigh Station
  - T Overhead High Tension Wires

- GOVERNMENTAL AND INSTITUTIONAL LANDS
  - M Municipal Administrative Offices
  - F Fire Station
  - P Police Station
  - H Hospital
  - E Public Elementary School
  - MS Public Middle School
  - S Public Senior High School



- MIXED USE LANDS
  - VG Village Green Center
  - CT Chiwaukee Transit Center

- COMMERCIAL LANDS
  - N Neighborhood Retail and Service Centers
  - C Community Retail and Service Centers
  - F Freeway-Oriented Service Centers
  - O Freeway Office Centers
  - R Freeway-Oriented Regional Retail Centers
  - B Freeway-Oriented Business Centers

- PARK, RECREATION AND OTHER OPEN SPACE LANDS
  - R Regional Park
  - C Community Park
  - N Neighborhood Park

- INDUSTRIAL LANDS
  - L Limited Industrial
  - G General Industrial
  - P Production and Manufacturing

- Agricultural Lands

#### ENVIRONMENTALLY SIGNIFICANT AREAS

- Primary Environmental Corridors
- Secondary Environmental Corridors
- Isolated Natural Resource Areas
- Surface Water
- Field Verified Wetlands
- Interpolated Wetlands  
(2005 WIDNR Final Inventory Maps)
- 100 - Year Floodplain

#### RIGHTS-OF-WAY

- Existing Rights-Of-Way (September 2009)
- Dedicated but not Constructed Right-Of-Ways (September 2009)

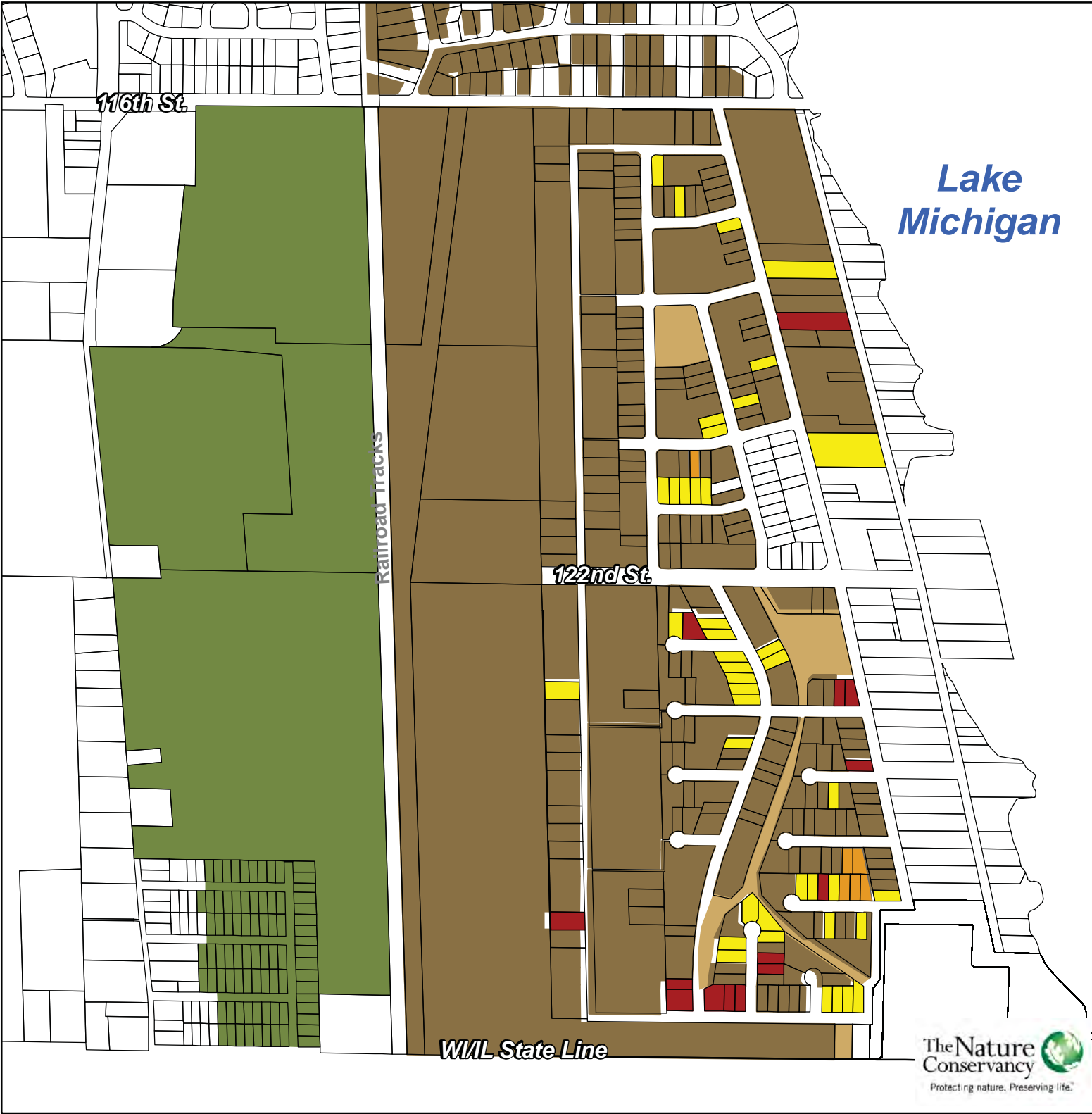
#### URBAN RESERVE AREAS (OVERLAY)



#### LINEAR FEATURES

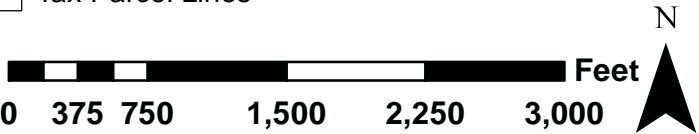
- Property Lines

Lands South of 116th Street Still to be Acquired for Conservation,  
per Carol Beach/Chiwaukee Prairie Land Use Plan



Legend

- |  |   |
|--|---|
|  State of WI Ownership (DNR & UW-Parkside) |  Lands Still to Be Acquired for Conservation (42 lots) |
|  CPPF Ownership                            |  Tax Delinquent Parcels owned by Kenosha County        |
|  Village of Pleasant Prairie Ownership     |  Tax Parcel Lines                                      |
|  TNC Ownership                             |   |







## COMPREHENSIVE PLAN AMENDMENT

I (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie 2035 Comprehensive Plan as hereinafter requested related to the following property:

Property Location: East of Sheridan Rd between 116th and 128th Street owned by The Nature Conservancy

Legal Description: see attached map

Tax Parcel Number(s): see attached map

### Check all that apply

☒ Land Use Plan Amendment:

To change the land use designation from Low-Medium Density Residential and Mixed Use Lands (CT) with an Urban Reserve Area  
to Park, Recreational and Other Open Space lands--the Isolated Natural Resource Area and the field verified wetland land use designations will remain unchanged.

- ☐ Neighborhood Plan Amendment to \_\_\_\_\_ Neighborhood
- ☐ Other Amendment to the Comprehensive Plan (specify) \_\_\_\_\_

Petitioner's interest in the requested amendment:

TNC's 150-acre restoration on the site subject to this comprehensive plan amendment request will transform a degraded vacant site into an attractive natural area with excellent wildlife habitat that enhances groundwater recharge by stemming the otherwise ongoing discharge of water from the property. The site will also offer publically-accessible nature-based outdoor activities like hiking, bird-watching and cross-country skiing while buffering and protecting the long-established Chiwaukee Prairie State Natural Area.

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine whether additional information may be needed to consider the request.

I (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

### PROPERTY OWNER:

Print Name: The Nature Conservancy

Signature: \_\_\_\_\_

Address: 633 W. Main Street

Madison WI 53703

(City) (State) (Zip)

Phone: 608-316-6445

Fax: \_\_\_\_\_

Email: sjudge@tnc.org

Date 11/20/18

### APPLICANT/AGENT:

Print Name: Stephanie Judge

Signature: 

Address: see left

\_\_\_\_\_

(City) (State) (Zip)

Phone: 608-886-5752

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

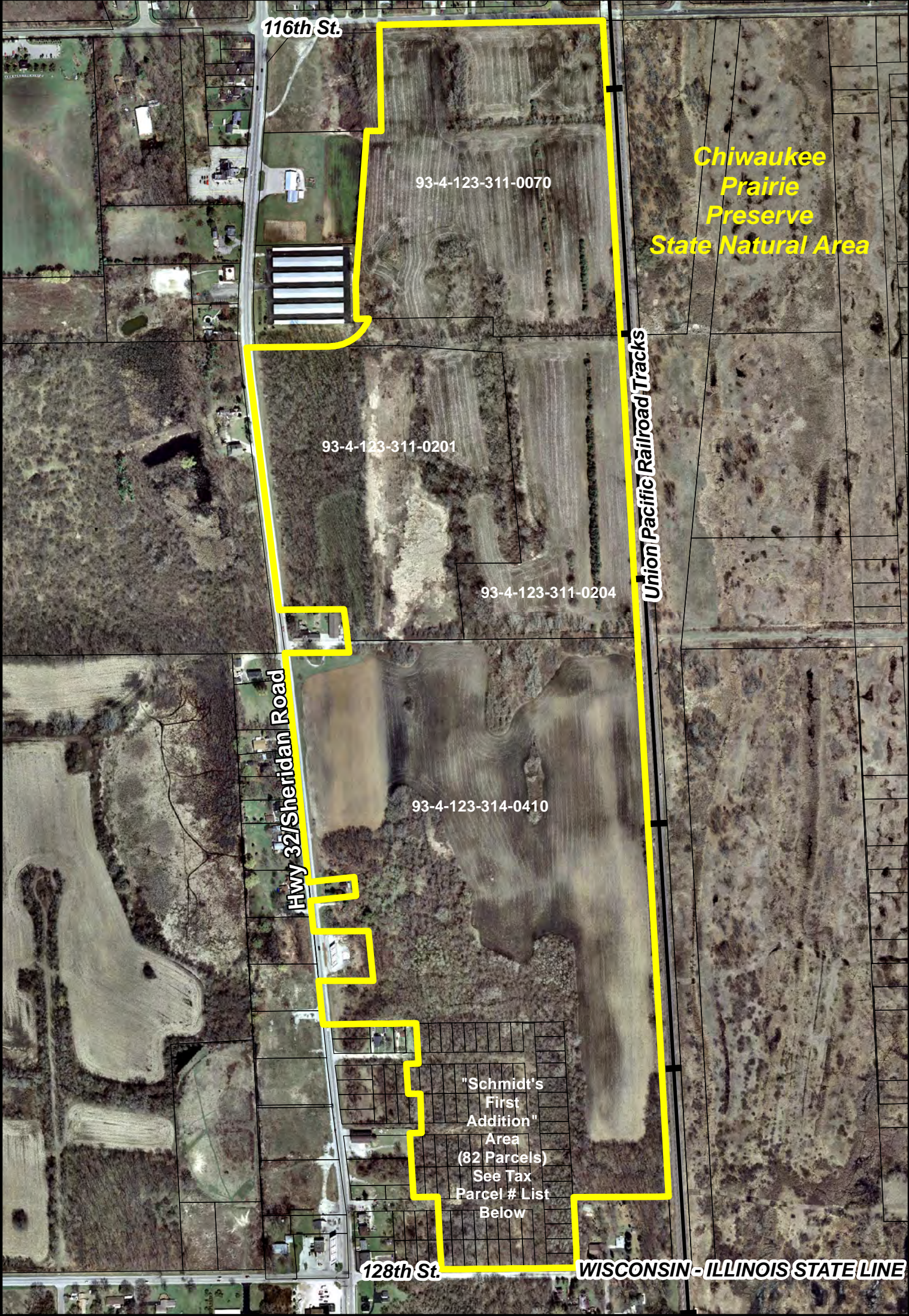
Date: \_\_\_\_\_

Community Development Department, 9915 39<sup>th</sup> Avenue, Pleasant Prairie WI 53158

262-925-6717



Chiwaukee West Restoration Area  
Rezoning & Comprehensive Plan Amendment Application Map



Legend

- TNC Ownership - 150 acres
- Tax Parcel Lines

0 125 250 500 750 1,000  
 Feet

Tax Parcel #	93-4-123-314-0104,	-0106,	-0108,	-0110,	-0112,	-0114,
	-0116,	-0118,	-0120,	-0121,	-0122,	-0124,
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	-0322,	-0324,	-0326,	-0328,	-0330,	







## ZONING MAP AMENDMENT APPLICATION

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board of Trustees to amend the Village of Pleasant Prairie as hereinafter requested.

Property Location: Land east of Sheridan Rd between 116th and 128th Street owned by The Nature Conservancy (TNC)

Legal Description: See attached map

Tax Parcel Number(s): See attached map

Existing Zoning District(s): C-1, A-2, C-2

Proposed Zoning District(s): All lands zoned C-1 to remain; other lands C-3

Proposed Use: Nature preserve

Compatibility with Adjacent Land Uses:

TNC's 150-acre restoration site subject to this rezoning request adjoins the long-established Chiwaukee Prairie State Natural Area (C-3) and will function as a buffer to this nature preserve. The site currently consists of degraded farmland (A-2), lowland conservancy (C-1) and upland conservancy (C-2) infested with invasive brush and trees. Changing the zoning classification will enable ecological restoration of the site and facilitate future nature-based public access opportunities including hiking, bird watching and cross-country skiing.

**If the property is being zoned into multiple zoning classifications or only a portion of the property is being rezoned (i.e. wetlands area) then submit an exhibit with complete legal description of each zoning classification.**

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request to determine whether additional information may be needed for this request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

### PROPERTY OWNER:

Print Name: The Nature Conservancy

Signature: \_\_\_\_\_

Address: 633 W. Main Street

Madison WI 53703

(City) (State) (Zip)

Phone: 608-316-6445

Fax: \_\_\_\_\_

Email: sjudge@tnc.org

Date 11/20/18

### APPLICANT/AGENT:

Print Name: Stephanie Judge

Signature: \_\_\_\_\_

Address: see left

(City) (State) (Zip)

Phone: 608-886-5752

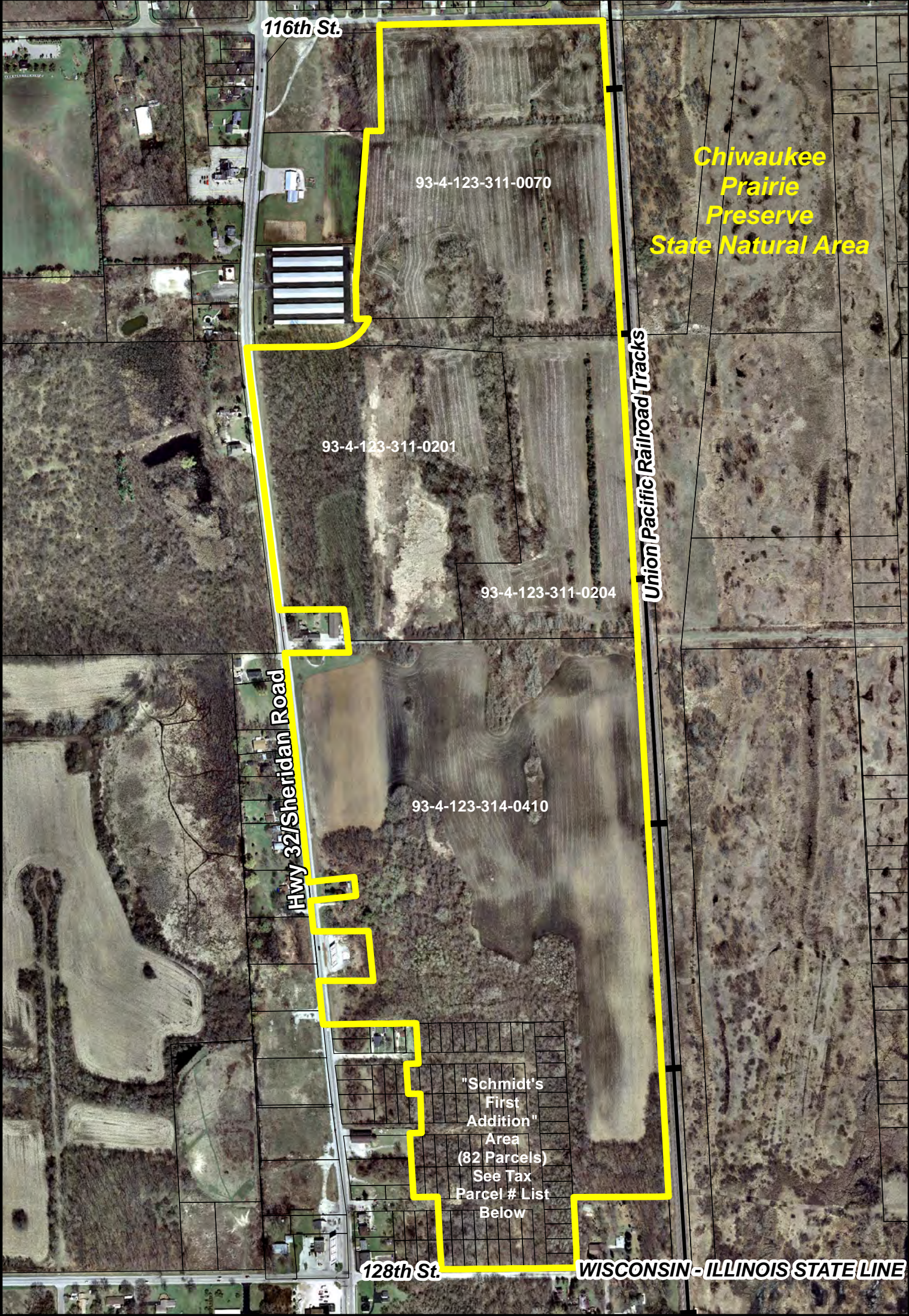
Fax: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_



Chiwaukee West Restoration Area  
Rezoning & Comprehensive Plan Amendment Application Map



Legend

- TNC Ownership - 150 acres
- Tax Parcel Lines

0 125 250 500 750 1,000  
 Feet

Tax Parcel #	93-4-123-314-0104,	-0106,	-0108,	-0110,	-0112,	-0114,
	-0116,	-0118,	-0120,	-0121,	-0122,	-0124,
	-0126,	-0128,	-0130,	-0132,	-0134,	-0136,
	-0138,	-0140,	-0142,	-0144,	-0146,	-0148,
	-0150,	-0174,	-0176,	-0178,	-0180,	-0182,
	-0184,	-0186,	-0188,	-0190,	-0192,	-0194,
	-0196,	-0198,	-0200,	-0202,	-0204,	-0206,
	-0208,	-0210,	-0212,	-0214,	-0216,	-0218,
	-0220,	-0242,	-0244,	-0246,	-0248,	-0250,
	-0252,	-0254,	-0256,	-0258,	-0260,	-0262,
	-0264,	-0266,	-0268,	-0270,	-0272,	-0274,
	-0276,	-0278,	-0280,	-0282,	-0284,	-0286,
	-0288,	-0312,	-0314,	-0316,	-0318,	-0320,
	-0322,	-0324,	-0326,	-0328,	-0330,	

